

MBIS

PRE PURCHASE BUILDING REPORT

Molonglo Building & Investigation Services
ACT Builders Lic. 19967883
NSW Builders Lic. 75301C
NSW Consultancy Lic. BC857
ABN. 54 462 971 244

DATE OF INSPECTION: 14/02/2014
OUR REFERENCE NUMBER: B20141327

Refer Property: 72 Namatijira Drive
Stirling ACT 2611



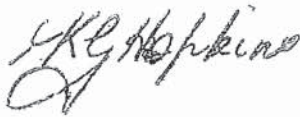
Dear Mr. Craig Robinson

As at your request we have inspected the above property and we are pleased to submit the following building report.

This report has been compiled in accordance with **AS4349.1 and AS 4349.3-1995.**

If you have any further inquiries please do not hesitate to contact the inspector Ken Hopkins (19967883) on the numbers listed below.

Yours faithfully,

A handwritten signature in dark ink, appearing to read 'K.G.L. Hopkins', written in a cursive style.

K.G.L Hopkins
MBIS

PREAMBLE

This is a Standard Property Report as defined by AS 4349.1

This report is based on a visual inspection, the objective of identifying significant defects to the residence and surrounding property, which were visible and present at the time of inspection

This report does not cover all aspects of the building and must be read in conjunction with the scope and limitations document contained within.

It may not include all items that were inspected and found to be in a good condition or minor faults or defects as defined below:

AS 4349.1 “Minor fault or defect a matter which, in view of age, type or condition of the residential building, does not require substantial repairs or urgent attention and rectification.”

This report uses the following grading system:

- **GOOD**
Of acceptable industry standards
and free of defects
and requiring no repairs.

(superficial defects accepted).
- **FAIR**
Of below acceptable industry standards
or has no minor defects
or has minor signs of deterioration

and is functional.
- **POOR**
Of below acceptable industry standards
or has defects requiring extensive repair or replacement
or has obvious signs of deterioration.

**This report has been made for the use and purpose specified to the applicant addressed to at the first page of this report.
Any third party acting or relying on the Report is undertaking not to communicate the contents of the report on the basis of to detriment the property.**

DESCRIPTION OF PROPERTY

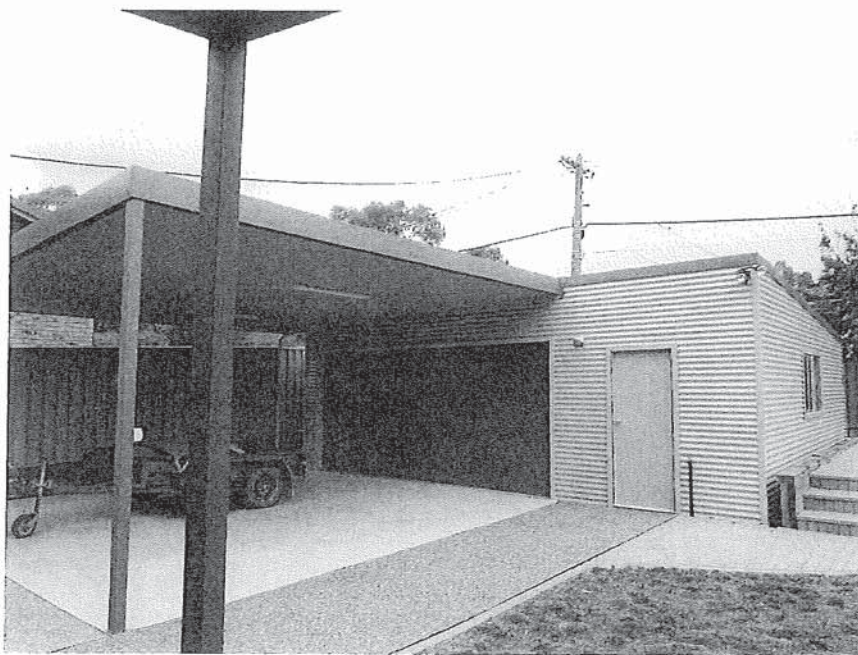
This is a four bedroom Brick Veneer single storey residence with a lounge room, family room, Meals Room and kitchen with an Detached garage and Carport. The roof is concrete tiles, and aluminium window frames and Timber Flooring, both the garage and dwelling have a concrete slab.

EXTERNAL

- Paintwork is in a good condition. Painting is an ongoing maintenance item.
- Timber fascias are in good condition.
- Colorbond guttering is in a good condition.
- Paved paths to entry are in good condition.
- Driveway to garage is in a good condition.

GARAGE

- Garage has concrete floor, with Double door, good condition.



WINDOWS

- Aluminium window frames are in good condition.
- Fly screens fitted to the windows are in good condition.

VERANDAH

- Corrugated Colourbond roof.



EXTERNAL DOORS

- Solid timber external doors are in a good condition.

ROOF

- Hardwood roof trusses at 900 centres are aligned and in a good condition.
- Concrete Tiles are in a good condition.
- Ridge capping is in a good condition
- Bedding and pointing is in a good condition. The re-bedding and re-pointing of these tiles is an ongoing maintenance item to prevent moisture entering the roof space. Further advice when required should be sought from a practicing roof tiler.
- Eaves and down pipes are in a good condition.

PLUMBING AND DRAINAGE

- Plumbing and drainage is in accordance with Plumbing and Drainage Code.
- There are no leaks or water hammer evident to the plumbing.

INTERNAL

- Plasterboard walls and ceilings are in a good condition.
- Fibrous cement sheet wall lining to all wet areas.
- Paintwork is in a good condition.
- Timber doors throughout.
- Floor coverings laid to the floors are in a good condition.

LOUNGE ROOM

- Windows are in a good condition.
- Plasterboard walls and ceilings are in a good condition
- Floor coverings laid to the floor are in a good condition.
- Paintwork is in a good condition.

MEALS ROOM

- Plasterboard walls and ceilings are in a good condition
- Floor boards laid to the floor are in good condition.

HEATING

- Ducted Gas heating is in good **condition**.

HOT WATER SYSTEM

- Vulcan hot water unit 125 Litre, good condition

LIVING ROOM

- Windows are in a good condition.
- Plasterboard walls and ceilings are in a good condition
- Timber Floor boards are in good condition.
- Paintwork is in a good condition.



KITCHEN

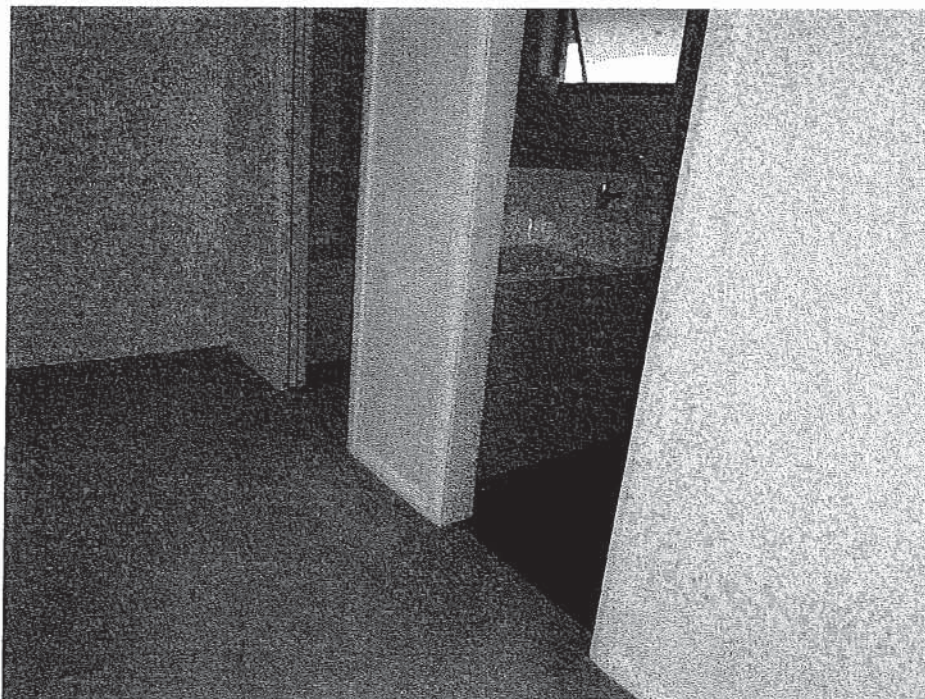
- Plasterboard walls and ceilings are in a good condition
- Floor boards laid to the kitchen are in good condition.
- Gas cook top, good condition.
- Stainless steel oven, good condition.
- Fisher and Paykel Stainless Steel Dishwasher, good condition.
- Kitchen cupboards are in a good condition.
- Cedar stone bench tops are in good condition.
- Splash back is in a good condition.
- Single sink. No signs of leaks.
- Taps are in a good condition. No signs of leaks, no hammering, not loose.
- Paintwork is in good condition.
- Windows are in a good condition

LAUNDRY

- Windows are in a good condition.
- Plasterboard walls are in a good condition.
- Plasterboard ceiling is in good condition.
- Floor coverings laid to the floor are in a good condition
- Laundry tub and taps are in a good condition.
- Paintwork is in good condition.

MASTER BEDROOM

- Plasterboard walls and ceilings are in a good condition.
- Carpet laid to the floor is in a good condition.
- Walk in robe is in good condition.
- Paintwork is in good condition.



BEDROOM 2

- Plasterboard walls and ceilings are in a good condition
- Carpet laid to the floor is in a good condition.
- Built in robe, good condition
- Paintwork is in good condition.
- Windows are in a good condition.

BEDROOM 3

- Plasterboard walls and ceilings are in a good condition
- Carpet laid to the floor is in a good condition.
- Built in robe, good condition
- Paintwork is in good condition.
- Windows are in a good condition.

BEDROOM 4

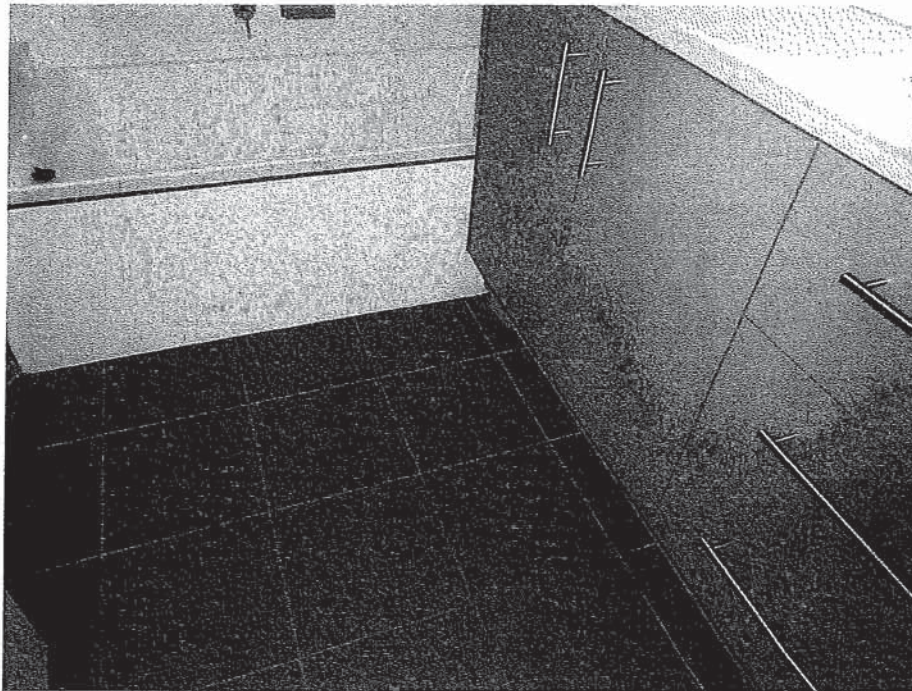
- Plasterboard walls and ceilings are in a good condition
- Carpet laid to the floor is in a good condition.
- Built in robe, good condition
- Paintwork is in good condition.
- Windows are in a good condition.

ENSUITE

- Tiles to walls are in a good condition.
- Plasterboard ceiling is in a good condition.
- Tiled floor is in a good condition.
- Vanity and basin is in a good condition.
- Taps are in a good condition.
- Mirror is in a good condition.
- Shower enclosure is in a good condition.
- Paintwork is in a good condition.
- Windows are in a good condition.

BATHROOM

- Tiles to walls are in a good condition.
- Plasterboard ceiling is in a good condition.
- Tiled floor is in a good condition.
- Vanity and basin is in a good condition.
- Bath is in good condition.
- Taps are in a good condition.
- Mirror is in a good condition.
- Shower enclosure is in a good condition.
- Paintwork is in a good condition.
- Windows are in a good condition.



OVERVIEW

The four bedrooms home is in a stable structural condition.

Whilst all reasonable care has been taken in the preparation of this report Molonglo Building Services will not be liable for any physical defects which are not readily visible or where normal access is not available.

Thorough inspection for termites or other vermin and pests has been carried out, and there is no evidence of infestation, although regular maintenance and resiting of garden beds and pruning is suggested so as to minimise any chance of reinfestation. Resiting of the concrete all around the building is recommended.

Thank you for choosing Molonglo Building services.

MBIS

COMPLIANCE REPORT

Block 10 , Section 21 Of - Stirling
Known as 72 Namatijira Drive Stirling ACT 2611

Approval numbers and dates:

Plans for New Residence –

Plan No: B20141327

Drainage

Plan No:

Survey

Plan No:

Certificate of Occupancy or Use

Plan No: For New Residence

Dated:

No records on the building file of current notices issued over this property.

No records on the building file showing applications still being processed.

**ALL THE STRUCTURES MENTIONED HEREWITH ARE NOT APPROVED AND
IN COMPLIANCE WITH ACT REGULATIONS, FOR CONSTRUCTION TO THIS
PROPERTY.**

None Applicable

**K.G.L HOPKINS
MBIS**



QBE INSURANCE (AUSTRALIA) LIMITED
ABN 78 003 191 035

Pest Controllers Combined Liability Certificate of Currency

The Policy below is current until 4.00pm on the expiry date shown below

INSURED: CTECK HOP Pty Ltd TTF Trins Trust T/as Molonglo Building & Investigation Services

LICENSEE: Kenyon Hopkins

BUSINESS DESCRIPTION: Timber Pest Inspections - Covered
Termite Barrier Installations - Covered
Pre-Purchase House Pest Inspections - Covered
Building Inspections (Non Pest Related) - Covered
Pool Safety Inspections - Covered
Building Certificate - Covered
Work Accessor - Covered
Energy Assessments - Covered
ACT Building Certifications - Covered

POLICY REFERENCE: 09 P003069 PLB

EXPIRY DATE: 31/10/2014

POLICY CLASS: Pest Controllers Combined Liability.

SUMS INSURED: **Section A: Broadform Liability**

Limit of Liability: \$10,000,000 any one claim, or loss, including defence costs, and in the aggregate in respect of all claims, or losses, including defence costs.

Section B: Professional Indemnity

Limit of Liability: \$5,000,000 any one claim, or loss, including defence costs, and in the aggregate in respect of all claims, or losses, including defence costs.

This Certificate of Currency is subject to the Policy Documentation to be read in conjunction with the Definitions, Conditions and Exclusions in the Pest Controllers Combined Liability Insurance Policy - QM792.

Signed
Narelle Pratt
Underwriter – Intermediary Distribution

Date 18/10/2013

MBIS

PEST REPORT

Account to:

Craig Robinson
72 Namatijira Drive
Stirling ACT 2611

Vendor:

Craig Robinson
72 Namatijira Drive
Stirling ACT 2611

Inspection Date: 14/02/2014

Report Prepared Date: 24/3/2014

SUMMARY ONLY

- * This summary is supplied to allow a quick and superficial overview of the inspection results.
- * This summary is NOT the report and cannot be relied upon on its own.
- * This summary must be read in conjunction with the full report and not in isolation from the Report.
- * If there should happen to be any discrepancy between anything in the Report and anything in this summary, the information in the Report shall override that in this summary.
- * The Report is subject to conditions and limitations. Your attention is particularly drawn to the clauses, Disclaimer of Liability to Third Parties, Limited Liability to a purchaser within the Australian Capital Territory and to the Notice to the Purchaser at the back of this Report.
- * Ant capping has not been installed on all the subfloor area of the house and monthly inspections by a suitably qualified person is recommended.

Access

Are there any Area(s) and /or Section(s) to which should be gained? Yes, read report in its entirety.

TIMBER PEST ACTIVITY

Were active subterranean termites (live specimens) found? No, read report in its entirety.

Was visible evidence of subterranean termite workings or damage found? No, read report in its entirety.

Was visible evidence of borers of seasoned timbers found? No, read report in its entirety.

Was evidence of damage caused by wood decay (rot) fungi found? No, read report in its entirety.

For complete and accurate information please refer to the attached complete Visual Timber Pest Report, provided, in accordance with AS 4349.3.

MBIS

MOLOGLO BUILDING & INVESTIGATION SERVICES

Ken Hopkins

115/2 Endeavour House
Captain Cook Crescent
Manuka ACT 2603

Ph: 02 6297 0324 ~ Mobile: 0429 800 896 ~ Fax: 02 6297 5369
Email ~ cteckhop@gmail.com

Visual Timber Pest Inspection & Report in accord with AS4349.3

To
Mr Craig Robinson

Client: as above

Purchaser:

Re:

Date of Inspection: 14/02/2014

Professional Services Certificate: No BC 857

Summary Only

IMPORTANT DISCLAIMER

- This Summary is supplied to allow a quick and superficial overview of the inspection results.
- This Summary is NOT the Report and cannot be relied upon on its own.
- This Summary must be read in conjunction with the full report and not in isolation from the report.
- If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

ACCESS

Are there any Area(s) and or Section(s) to which Access could not be gained: YES.

TIMBER PEST ACTIVITY

Were active subterranean termites (live specimens) found: NO
Was visible evidence of subterranean termite workings or damage found: NO
Was visible evidence of borers of seasoned timbers found: NO
Was evidence of damage caused by wood decay (rot) fungi found: NO

For complete and accurate information
Please refer to the attached complete
Visual Timber Pest Report
Provided in accord with AS 4349.3

Visual Timber Pest Report

Important Information Any person who relies upon the contents of this report does so acknowledging that the following clauses which define the Scope and Limitations of the inspection form an integral part of the report.

1 THIS IS A VISUAL INSPECTION ONLY. in accord with the requirements of AS 4349.3

Inspection of building Part 3: Timber pest inspections. Visual inspection as limited to those areas and sections of the property to which reasonable access (See definition on page of this report) was both available and permitted on the date of Inspection. Inspection has been made in the areas where infestation is most likely to occur. The inspector DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation floor or wall coverings, siding, ceiling, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards in other areas that are concealed or obstructed. This inspector DID NOT dig, gouge, force or perform any other invasive procedures. An invasive inspection will not be performed unless a separate contract is entered into. In an occupied property it must be understood that furnishings or household items may be concealing evidence of Timber Pest which may only be revealed when the items are moved or removed.

2 SCOPE OF REPORT. This Report is confined to reporting or the discovery, or non discovery, of infestation and/or damage caused by subterranean and camp wood termites (white ants, borers of seasoned timber and wood decay fungi (hereinafter referred to as Timber Pest) present on the date of the inspection. The inspection did not cover any other pests and this Report does not comment on them. Dry wood termites (Family KALOTERMITIDAE) were excluded from the Inspection, but have been reported on if in the course of the Inspection, any visual evidence of infestation happened to be found.

3 LIMITATIONS. Nothing contained in the Report implies that any inaccessible or partly inaccessible areas or sections of the property being inspected by the Inspector on the date of the Inspection were not, or have not been infested by Timber Pests. Accordingly this Report is not a guarantee that an infestation and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. Nor is it a guarantee that a future infestation of Timber Pests will not occur or be found.

4 DETERMINING EXTENT OF DAMAGE. This Report does not and cannot state the extent of damage. It is NOT a structural damage report. We claim no expertise in structural engineering. If any evidence of Timber Pest activity or damage is Reported, then it must be assumed there may be some structural damage and a qualified person such as a Builder, Engineer, Architect or other qualified expert in the building trade should be asked to determine the full extent of the damage. If any, and the extent of repairs that may be required. This firm is not responsible for the repair of any damage whether disclosed by this report or not

5 POSSIBLE HIDDEN DAMAGE. If Timber Pest activity and/or damage is found, within the Structures OR the ground of the property, then damage may exist in concealed areas, eg framing timbers. An INVASIVE INSPECTION is strongly recommended in this case. Damage may only be found when wall linings, cladding or insulation are removed to reveal previously concealed timbers.

6 CONSUMER COMPLAINTS PROCEDURE. In the event of any controversy or claim arising out of or relating to this Timber Pest Property Report, either party must give written Notice of the dispute to the other party. If the dispute is not resolved within ten (10) days from the service of the Notice then the dispute shall be referred to a mediator nominated by the inspector. Should the dispute not be resolved by mediation then other party may refer the dispute to the Institute of Arbitrators and Mediators of Australia for resolution by arbitration.

Brief Description of Structure(s) Inspected:

TYPE: Residential Townhouse:
HEIGHT: Double Storey:
SIZE: 145.7 4 Bedrooms:
BUILT FROM: Brick Veneer:
BUILT ON: Concrete slab:
**CONCRETE
IN-FILL AREAS:** Patio Front Porch
ROOFING: Tile:
DWELLING FACES: Northwest to Street:
**SURROUNDING
ENVIRONMENT:** Well established scattered trees around the dwelling:

When a building or part of a building is constructed on a concrete slab it is always more susceptible to concealed termite entry.

Areas Inspected: Only structures, fences &/or trees within 50m of the building but within the property boundaries were inspected.

Exterior of dwelling – Interior of dwelling- Roof void – Subfloor – Decking – Boundary fence
– The garden. Trees (visual only) – Stumps (visual only)

Area NOT Inspected: No inspection was made and no report is submitted or on accessible areas. These include, but may not be limited to, concealed frame timbers, eaves, areas concealed by concrete floors, wall linings, soil, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow blocks/posts, etc. Furnishings, furniture & stored items were not inspected.

Other Area(s) to which REASONABLE ACCESS for inspection was NOT AVAILABLE and the Reason(s) why include:

INTERIOR:

Timbers in cupboards and built-in robes/closets were concealed by clothing, personal items and other stored household items.

Upper faces of flooring timbers were concealed by carpets and furnishings.

ROOF VOID:

1.5 meters around the inside perimeter of the roof void, from the eave inwards due to the height between the ceiling joists and rafters.

SUBFLOOR:

N/A

EXTERIOR OF DWELLING:

N/A

Area(s)* in which Visual Inspection was Obstructed and the Reason(s) why include:

INTERIOR:

Furniture and appliances obstructed the visual inspection of the floor and skirting boards.
Carpets obstructed the visual inspection of the floor.

ROOF VOID:

The presence of insulating materials rendered a comprehensive inspection impractical. The ceiling joists, hanging beams, top plate and other ceiling timbers were not inspected.

EXTERIOR OF DWELLING:

The perimeter foundation footings because of garden beds.
The perimeter foundation footings because of paths.
Behind the down pipes because they were secured to the exterior cladding.

SUBFLOOR:

N/A

EXTERIOR OF GROUNDS:

The boundary fence because of garden vegetation.

Areas and/or sections to which access must be gained, or fully gained since they may show signs of timber pests activity and/or damage:

N/A

Was the property furnished at the time of inspection? YES () NO () Where a property is furnished at the time of the inspection then you must understand that the furnishings and stored goods may be concealing evidence of Timber Pest Activity. This evidence may only be revealed when the property is vacated. A further inspection of the vacant property is strongly recommended in this case.

SUBTERRANEAN TERMITES:

Were active termites (live insects) present at the time of inspection:

No active termites (live specimens) were found at the inspection in the dwelling.

Location: N/A

The termites are believed to be: () *Coptotermes* species () *Schedorhinotermes* species
() *Nasutitermes* species () *Heterotermes* species
() *Mastotermes danwiniensis*

Other:

And have the potential to cause () Moderate () Moderate to large () Large amounts of damage to timber including structural damage or () are a species not considered generally to cause structural damage.

A termite nest was not found.

Further investigation is not recommended.

Visible evidence of subterranean termite working and/or damage was found in:

No visible evidence of subterranean workings and/or damage found in the dwelling.

VERY IMPORTANT: Where any termite activity or damage is noted above you must realize that further termite damage may be present in concealed areas. See Clause 3, 4 and 5 on page 2.

Whilst we are not builders, the termite damage appears to be:

X) Moderate () Moderate to extensive () Extensive (See Clause 4)

IMPORTANT

Where visual evidence of termite workings and/or damage is reported above, but no live termites were present at the time of inspection, you must realize that it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without benefit of further investigation and inspection over a period of time, to ascertain whether any infestation is active or inactive. Active termites may simply have not been present at the time of inspection due to a prior disturbance, climatic conditions, or they may have been utilizing an alternative feeding source. Continued regular inspections are essential. *Unless written evidence of a termite protection program in accord with "Australian Standard 3660 – Protection of building from subterranean termites" is provided, a treatment should always be considered to reduce the risk of further attack.*

The following evidence of a possible previous termite treatment was found:

Evidence of a possible treatment was not found

This firm can give not assurance with regard to work that may have been previously performed by other firms. The firm which treated the property must be contacted for treatment and warranty information. In many cases retreatment may be required.

Subterranean termite treatment recommendation: A management program in accord with AS 3660 to protect against subterranean termites is considered to be

() essential () strongly recommended (X) not essential BUT regular inspections are essential.

Termite Shields (Ant Caps) should be in good order and condition so termite mud tubes are exposed and visible. This helps stop termite gaining entry. Missing damaged or poor shield increase the risk of infestation.

Whilst not a builder it is considered that the termite shields are generally considered inadequate.
Termite Shield to piers only.

The Australian Standard requires termite shielding to be lock seam jointed, welded and soldered, riveted and soldered, or butt jointed and welded for the full length of the joint. This has not occurred. Where this has not occurred it is a common building fault and few homes have correctly installed shielding. If considered inadequate a builder or other building expert should be consulted.

NB Physical barrier systems are not visible to inspection and no comment is made on such systems.

MBIS

COMPLIANCE REPORT

Block 10 , Section 21 Of - Stirling
Known as 72 Namatijira Drive Stirling ACT 2611

Approval numbers and dates:		Certificate of Occupancy or Use
Plans for B/V Residence	Plan No: 49895	Date: 15/08/78
Metal Garage & Carport	Plan No: 49895/A	Date: 28/05/79
Existing Internal Alterations, Existing Terrace & Alfresco, Existing Garage & Carport.	Plan No: B20141327/A	Date: 09/04/2014
Drainage	Plan No: 32041	
Survey	Plan No: 13158	

Dated:

No records on the building file of current notices issued over this property.

No records on the building file showing applications still being processed.

**ALL THE STRUCTURES MENTIONED HERE WITH ARE NOT APPROVED AND
IN COMPLIANCE WITH ACT REGULATIONS, FOR CONSTRUCTION TO THIS
PROPERTY.**

None Applicable

**K.G.L HOPKINS
MBIS**

SUBURB: STIRLING SECTION: 21 BLOCK: 10 UNIT: - EX GOV: No PAGE: 1/1

Drainage Plan Number: 32041

Comments:

Soil Classification Number: NO

CONVEYANCING PART 2

No information is provided in respect of electrical, drainage or sewer matters and or to the location of overhead power lines or underground cables in relation to the building.

- | | <u>Yes</u> | <u>No</u> |
|--|--------------------------|-------------------------------------|
| 1. (a) Is this a government or ex government house? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| (b) If yes, is there a building file with approvals on it? | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Is there any record of incomplete building work on the building file?
See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are there any records on the building file of current housing
Indemnity insurance policies for building work?
(Current within 5 years) See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Are there any records on the building file showing building
applications still being processed?
(Current within 3 years) See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Are there any records on the building file of current notices issued
over the property? See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If available, copies of the following documents are provided:

- | | | |
|--------------------------------|-------------------------------------|-------------------------------------|
| • Certificate of Occupancy | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Survey Certificates | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Approved Building Plans | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Ex government Building Plans | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If requested:

- | | | |
|--------------------|-------------------------------------|--------------------------|
| • Drainage Plan(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------|-------------------------------------|--------------------------|

Search officer comments (if any?)

Search officer initials: Connie

Cost of application: \$ 104.10

Date completed: 09/04/2014

Please Note: Building approvals that have been generated via eDevelopment will be issued with a project number prefixed by the letter B. Initial building approval documentation will be identified with project number B20XXXXX only but will be referenced as B20XXXX/A on the Certificate of Occupancy and Use. Any amendments to the original approval will be issued with the project number and an alphanumeric digit. The first amendment will be identified as B20XXXX/B, the second amendment B20XXXX/C etc.

Surveyor's Certificate



**J. R. VAUGHAN, BURTON
& ASSOCIATES PTY. LTD.**

REGISTERED SURVEYORS

1st Floor
63 Colbee Court
Phillip, A.C.T. 2606
Phone 82 2083

BLOCK 10 SECTION 21

STIRLING.



Re: D. Willett.

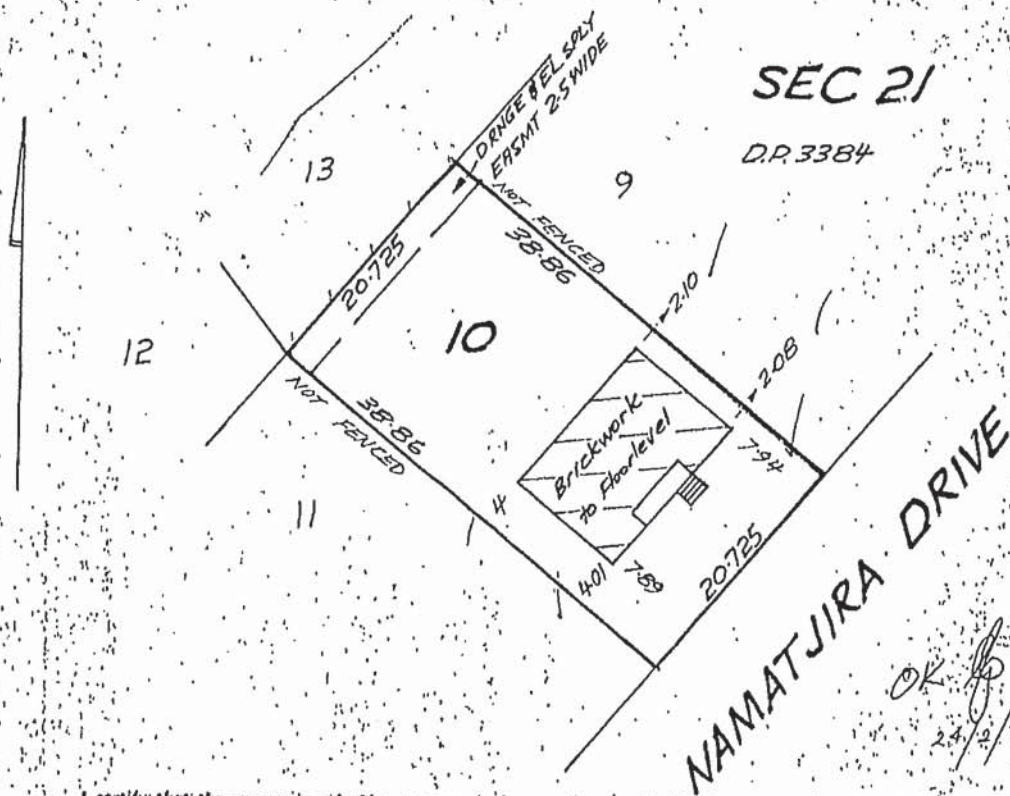
I have surveyed the land being BLOCK 10 SECTION 21 in Deposited Plan No 3384 and situate at NAMATJIRA DRIVE, Division of STIRLING, Weston Creek District of the Australian Capital Territory.

Erected upon the subject land is brickwork to floor level being for a proposed residence, the position of which in relation to the boundaries is as shown on the sketch.

Apparent easements affecting the subject land are as shown on the sketch.

Fencing on or near the boundaries is as shown on the sketch.

There are in my opinion no encroachments by or upon the subject land.



I certify that the survey in this Plan was made in accordance with the Survey Practice Directions.

Scale 1:500

James Spurr 20/2/78
Surveyor Registered under the A.C.T. Surveyor's Ordinance 1967
Surveyor Registered under the N.S.W. Surveyor's Act 1929-46

13158

Department of the Capital Territory
Building Section

CERTIFICATE OF FITNESS

(CLASS 1 AND X OCCUPANCY ONLY)

BL 1/8(9/75)

Australian Capital Territory
Building Ordinance 1972-74
(Part V)

31

It is hereby certified that the building consisting of Brick Veneer Residence

situated on

Block 10	Section 21	Division Stirling
or situated at		

for which plans and specifications were approved and a Building Permit issued under the provisions of the Building Ordinance 1972, is fit for use and/or occupation.

Approved plan no.

49895

Type of construction*

Class of occupancy*

Number of storeys

Permit no.

2667

Name of permit holder

D.P. Willett

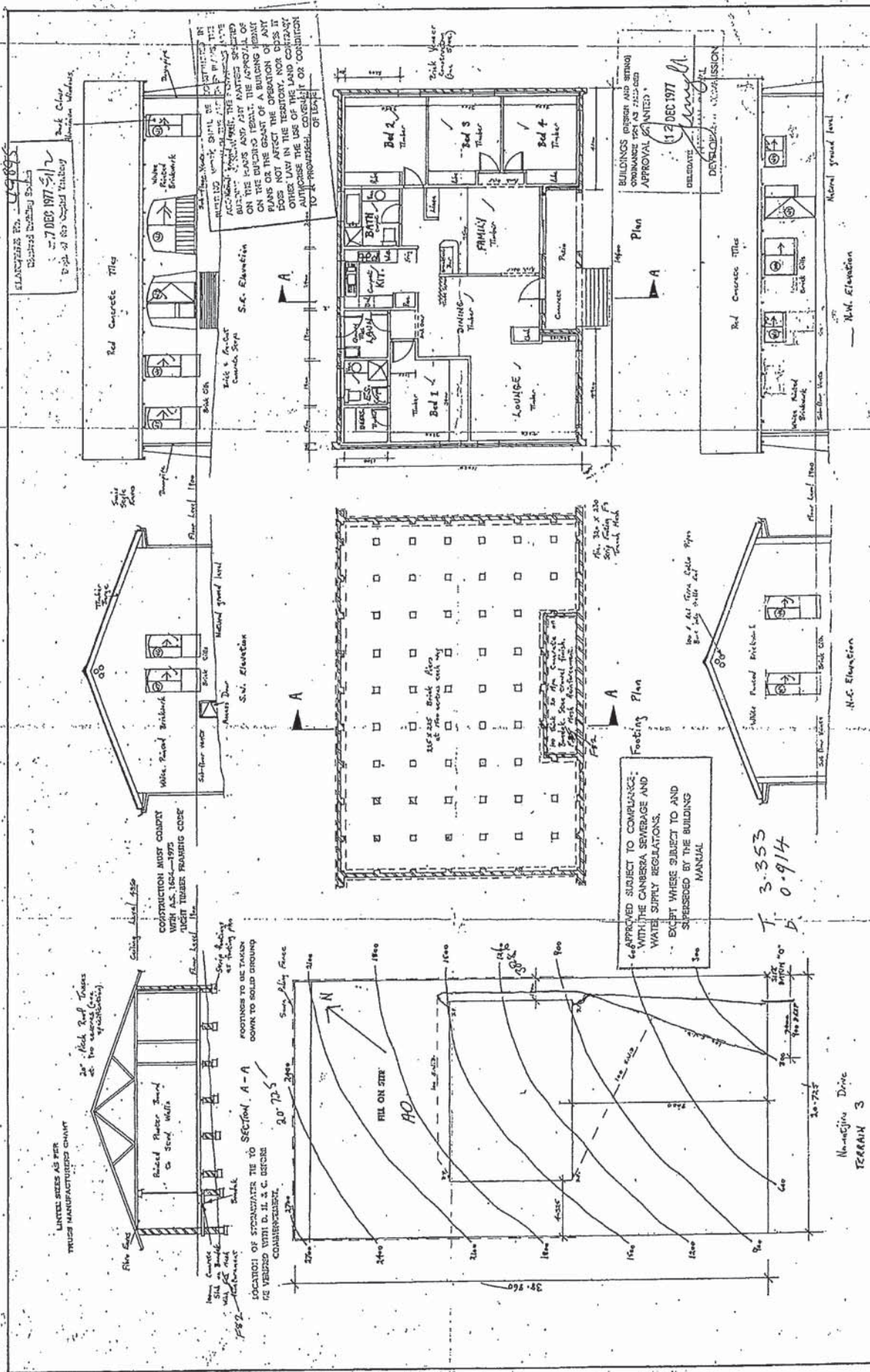
*As defined in the Building Manual
A.C.T.

No

7886

Deputy Building Controller

M. J. J. J. 15/8/78



APPROVED SUBJECT TO COMPLIANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS. EXCEPT WHERE SUBJECT TO AND SUPERSEDED BY THE BUILDING MANUAL

BUILDINGS DESIGN AND SETTING ORDINANCE 1971 AS AMENDED APPROVAL GRANTED 12 DEC 1971

DATE: 1.12.77	PROPOSED BRICK VENEER RESIDENCE	BLOCK 10 SECTION 21	STIRLING	DRAWING NO: TPK 2
DRAWN: D. WILLET	NAMASTRA DRIVE, STIRLING			SCALE: 1:100 SITE PLAN: 1:200

Department of the Capital Territory
Building Section

CERTIFICATE OF FITNESS

(CLASS 1 AND X OCCUPANCY ONLY)

BL1/8(9/75)

Australian Capital Territory
Building Ordinance 1972 - 74
(Part V)

29

It is hereby certified that the building consisting of WATER GARDEN & CONCRETE

situated on

Block	Section	Division
10	21	Structural
or situated at		

for which plans and specifications were approved and a Building Permit issued under the provisions of the Building Ordinance 1972, is fit for use and/or occupation.

Approved plan no.

498-15/A

Type of construction *	Class of occupancy *	Number of storeys
Permit no.	Name of permit holder	
11135	P.G. white	

* As defined in the Building Manual A.C.T.

13138

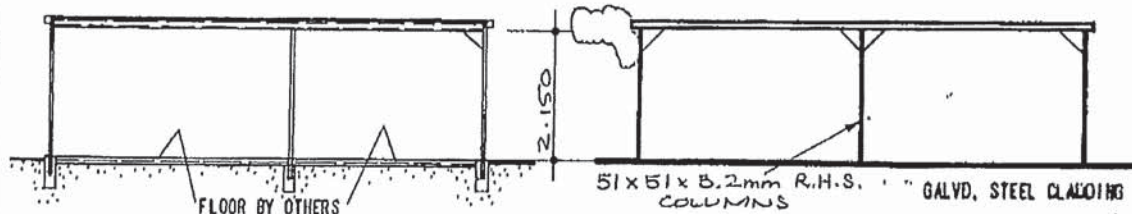
P.G. white

28, 5/77

Deputy Building Controller

FAIRMONT STANDARD CARPORT/GARAGE

PERSONAL DOOR AND LOUVER WINDOW,
TYPICAL. FOR POSITION OF THESE
INCLUDING TO GARAGE, SEE SITE PLAN.

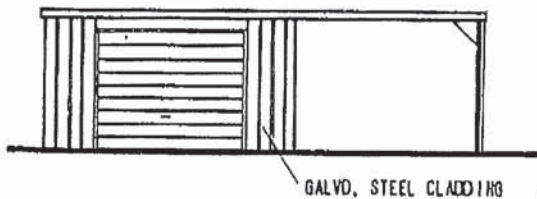


SECTION

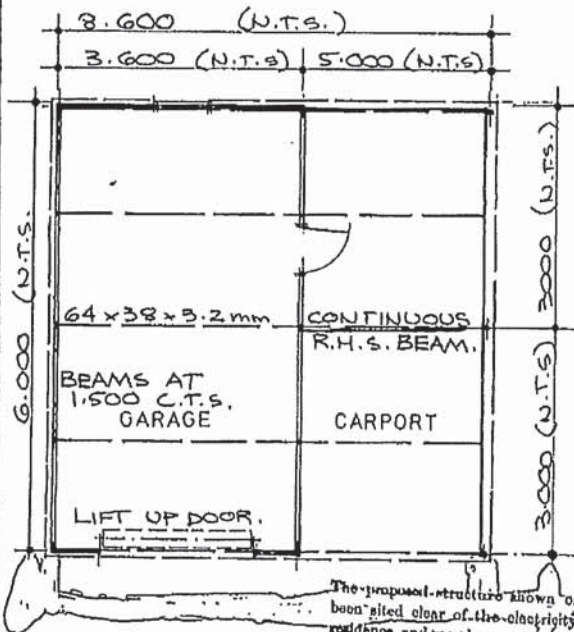
SIDE ELEVATION (TYPICAL)

PROVIDE GUTTERING AND DOWNPIPE(S) AS REQUIRED
AND CONNECT TO S.V. TO APPROVAL

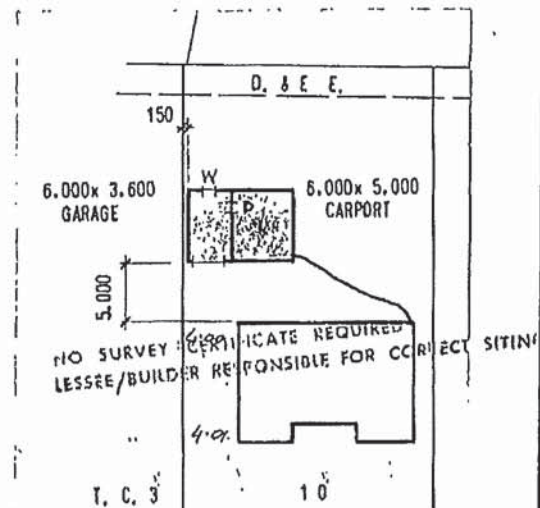
FOOTINGS TO BE TAKEN
DOWN TO SOLID GROUND



FRONT ELEVATION



PLAN (TYPICAL)



BUILDINGS (DESIGN AND SITING)
ORDINANCE 1964 AS AMENDED
APPROVAL GRANTED
72 RAMATJIRA DRIVE
11-14 DEC 1978
DELEGATE
NATIONAL CAPITAL
DEVELOPMENT COMMISSION

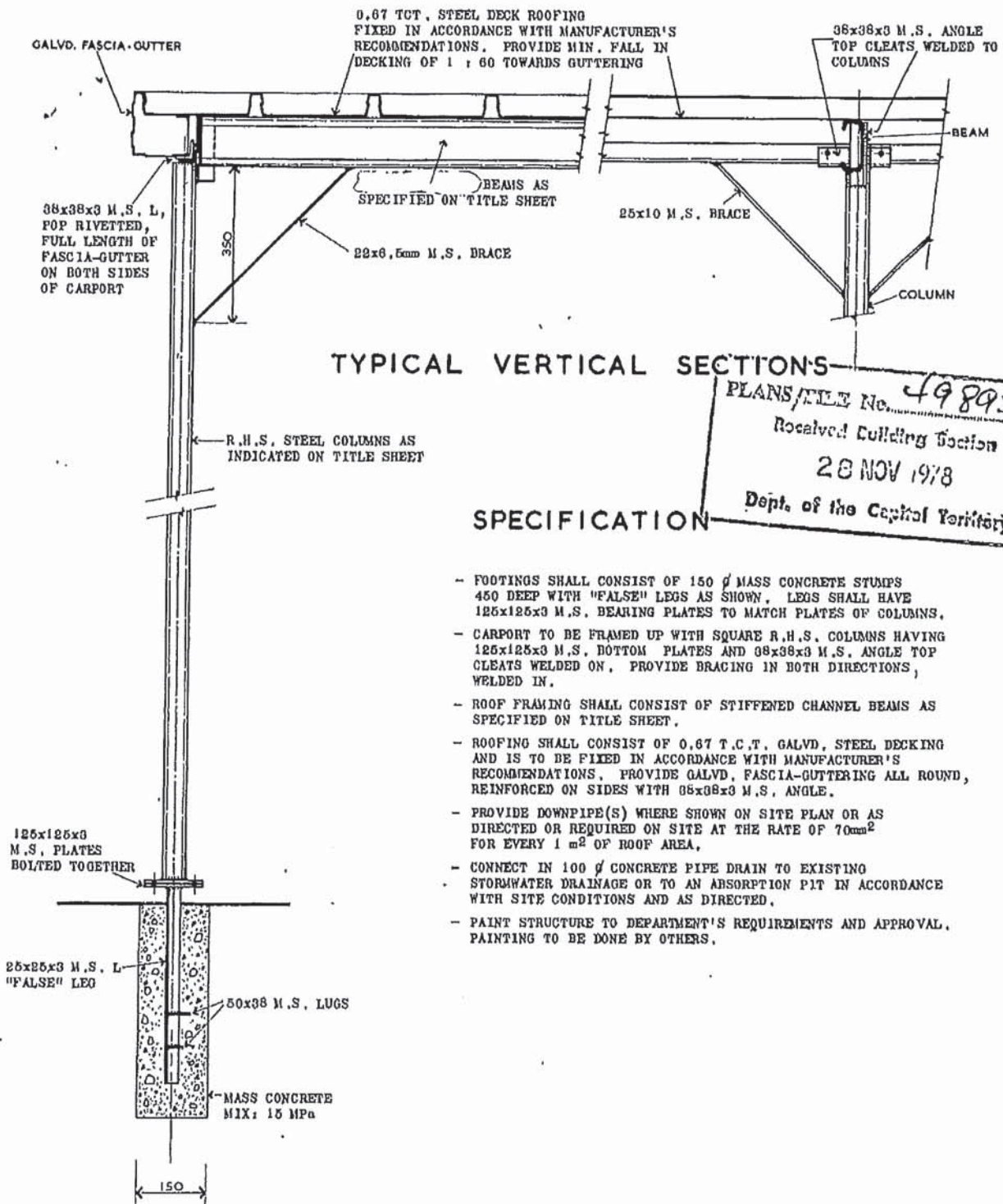
SITE PLAN SCALE: 1:500

GARAGE - CARPORT FOR: F. GALBRAITH

AT 10/21 STIRLING.

FAIRMONT CARPORT/GARAGE BY W. R. ENGINEERING PTY. LTD.

SCALES: (1:100) (1:500)
DRAWN: HOME & GENERAL BUILDING
CONSULTANTS PTY. LTD. NO. 7271



TYPICAL VERTICAL SECTIONS

PLANS/TITLE No. 49895/A
Received Building Section
28 NOV 1978
Dept. of the Capital Territory

SPECIFICATION

- FOOTINGS SHALL CONSIST OF 150 ϕ MASS CONCRETE STUMPS 450 DEEP WITH "FALSE" LEGS AS SHOWN. LEGS SHALL HAVE 125x125x3 M.S. BEARING PLATES TO MATCH PLATES OF COLUMNS.
- CARPORT TO BE FRAMED UP WITH SQUARE R.H.S. COLUMNS HAVING 125x125x3 M.S. BOTTOM PLATES AND 38x38x3 M.S. ANGLE TOP CLEATS WELDED ON. PROVIDE BRACING IN BOTH DIRECTIONS, WELDED IN.
- ROOF FRAMING SHALL CONSIST OF STIFFENED CHANNEL BEAMS AS SPECIFIED ON TITLE SHEET.
- ROOFING SHALL CONSIST OF 0.67 T.C.T. GALVD. STEEL DECKING AND IS TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE GALVD. FASCIA-GUTTERING ALL ROUND, REINFORCED ON SIDES WITH 38x38x3 M.S. ANGLE.
- PROVIDE DOWNPIPE(S) WHERE SHOWN ON SITE PLAN OR AS DIRECTED OR REQUIRED ON SITE AT THE RATE OF 70mm² FOR EVERY 1 m² OF ROOF AREA.
- CONNECT IN 100 ϕ CONCRETE PIPE DRAIN TO EXISTING STORMWATER DRAINAGE OR TO AN ABSORPTION PIT IN ACCORDANCE WITH SITE CONDITIONS AND AS DIRECTED.
- PAINT STRUCTURE TO DEPARTMENT'S REQUIREMENTS AND APPROVAL. PAINTING TO BE DONE BY OTHERS.

COLUMN PLAN

FAIRMONT STANDARD

SCALE: 1 : 10
DWG. NO. 6912 E

GALVD. FASCIA-GUTTER
ALL ROUND

0.67TCT. 'MONODEK' OR SIMILAR GALVD STEEL DECK
ROOFING, FIXED IN ACCORDANCE WITH MANUFACTURER'S
RECOMMENDATIONS

38x38x3mm M.S. ANGLE TOP
CLEATS WELDED TO COLUMNS

38x38x3mm M.S.
ANGLE, POP
RIVETTED TO
FASCIA-GUTTER
ON BOTH SIDES
OF GARAGE

BEAMS AS
SPECIFIED ON TITLE SHEET

CHANNEL BEAM

TYPICAL VERTICAL SECTIONS

38x38x3mm M.S. ANGLE CLEAT
WELDED FROM BEAM TO COLUMN

38x38x2.6mm R.H.S.
STEEL COLUMNS

32x38x3mm M.S. ANGLE
GIRTS

GALVD. STEEL CLADDING

MASS CONCRETE
MIX: 15 MPa

125x125x3mm M.S.
PLATES, BOLTED
TOGETHER

25x25x3mm M.S. ANGLE
"FALSE LEG"

150

450

8mm ϕ BOLTS

ANGLE GIRTS WELDED TO COLUMNS

GALVD. STEEL CLADDING

38x38x2.6mm R.H.S. COLUMNS

FLAT GALVD. IRON
OR CRIMPED CLADDING

GALVD. IRON
CORNER CAPPING

TYPICAL HORIZONTAL SECTIONS

PLANS/FILE No. 49895/A
Received Building Section
28 NOV 1978
Dept. of the Capital Territory

SPECIFICATION

- FOOTINGS SHALL CONSIST OF 150 DIAM. MASS CONCRETE STUMPS 450 DEEP WITH "FALSE" LEGS AS SHOWN. LEGS SHALL HAVE 125x125x3 M.S. BEARING PLATES TO MATCH PLATES OF COLUMNS.
- FRAME TO CONSIST OF 38x38x2.6mm R.H.S. STEEL COLUMNS AT 0.050 CTS. MAX. WITH 125x125x3 M.S. BOTTOM PLATES BOLTED TO FALSE LEGS AND 38x38x3x 150 LONG M.S. ANGLE TOP CLEATS. PROVIDE THREE (3) ROWS OF 32x32x3 M.S. ANGLE GIRTS WELDED TO COLUMNS.
- SUPPORT ROOFING BY MEANS OF LIPPED CHANNEL BEAMS AS SPECIFIED ON TITLE SHEET.
- ROOFING SHALL BE 0.67 TCT. GALVD. 'MONODEK' OR SIMILAR STEEL DECKING FIXED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- GUTTERING SHALL BE PURPOSE MADE GALVD. FASCIA-GUTTER SUPPORTED CONTINUOUSLY BY 38x38x3 M.S. ANGLE ON TWO SIDES. SIMILARLY PROVIDE FASCIA-GUTTER TO ENDS WITHOUT ANGLE REINFORCING.
- PROVIDE DOWNSPIPE(S) WHERE REQUIRED OR DIRECTED AT THE RATE OF 70 mm² FOR EVERY 1 m² OF ROOF AREA.
- CONNECT IN 100 ϕ CONCRETE PIPE DRAIN TO EXISTING STORMWATER DRAINAGE OR TO ABSORPTION PIT IN ACCORDANCE WITH SITE CONDITIONS AND AS DIRECTED.
- PAINT STRUCTURE TO DEPARTMENT'S REQUIREMENTS AND APPROVAL. PAINTING TO BE DONE BY OTHERS.
- UNLESS OTHERWISE SPECIFIED ON TITLE SHEET CONCRETE FLOOR TO BE PROVIDED BY OTHERS.

SCALE: 1:10
DWG. NO. 6640D



ACT
Government

Environment and
Sustainable Development

Certificate of Occupancy and Use

Certificate No.: **B20141327C1**

Planning and Land Authority

ABN 46 346 672 655
8 Darling Street Mitchell
GPO Box 1908 ACT 2601
www.actpla.act.gov.au

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	10	21	STIRLING	WESTON CREEK	Australian Capital Territory

Plans

B20141327/A

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(l)	Other	DA EXEMPT-SEE DESCRIPTION	Existing internal alterations	NA		B20141327N1	BROTHER PROJECTS
10a	Other	DA EXEMPT-SEE DESCRIPTION	existing terrace and alfresco	NA		B20141327N1	BROTHER PROJECTS
10a	Other	DA EXEMPT-SEE DESCRIPTION	existing carport and garage	NA		B20141327N1	BROTHER PROJECTS

Comments

Important Note:

1. Residential building statutory warranties and residential insurance do not apply in relation to building work.

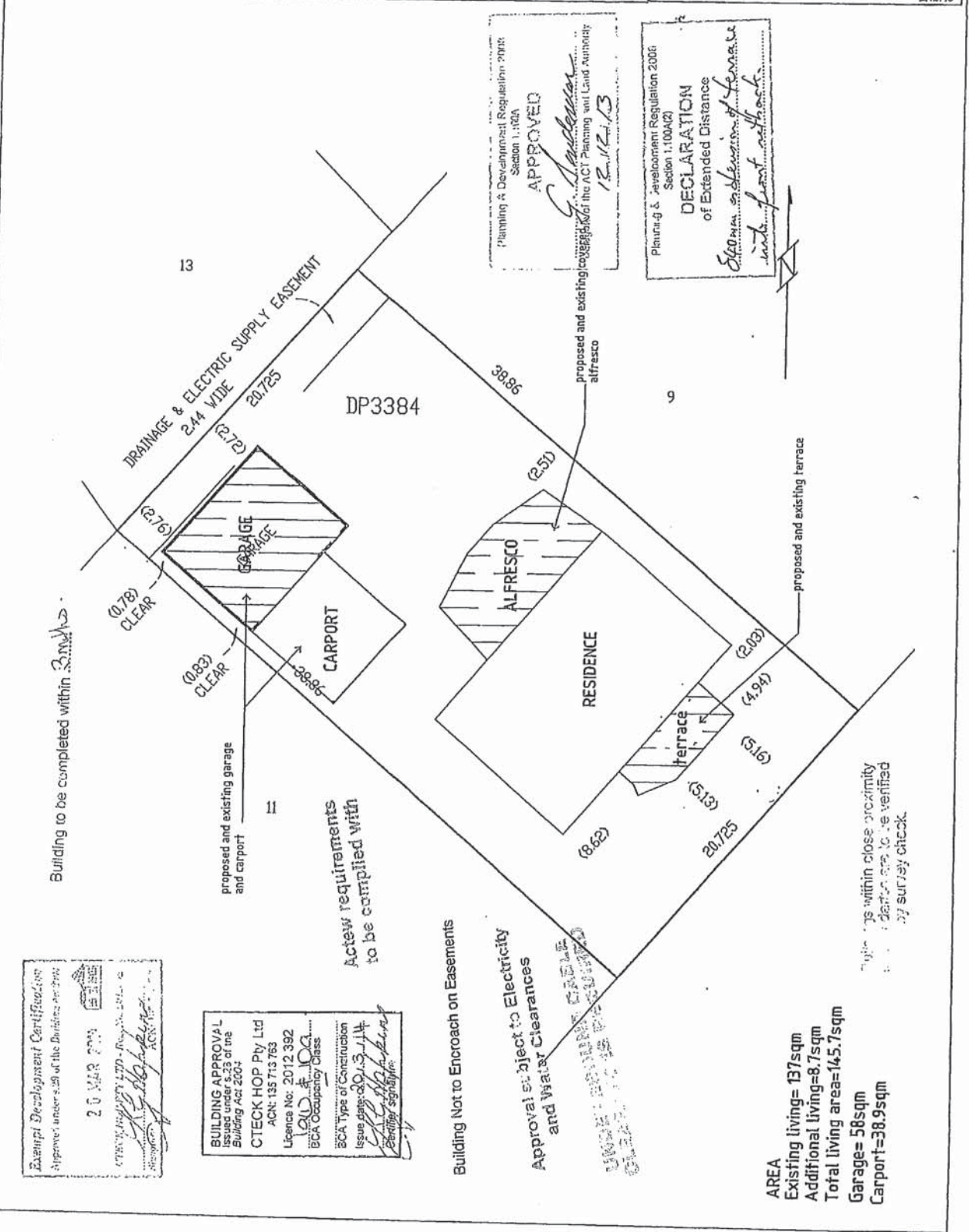
2. The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

Issued by: Raffaele Mallamace

Issued on: 09/04/2014

Delegate of the ACT Construction
Occupations Registrar.

CLIENT Robinson Residence		DRAWING TITLE SITE PLAN	
PROJECT Block 10 Section 21 Stirling	PROPOSED ADDITIONS & ALTERATIONS	Scale 1:100	Date SEP 11
		Drawn PM	Field SEP 11
			Checked SEP 11
			Drawn by A001



Exempt Development Certificate
Approved under s.29 of the Building Act 2004
20 MAR 2009
CITECK HOP Pty Ltd
ACN: 135 713 763
Licence No: 2012 392
BCA Occupancy Class
Issue date: 20/13/14
Building signature: [Signature]

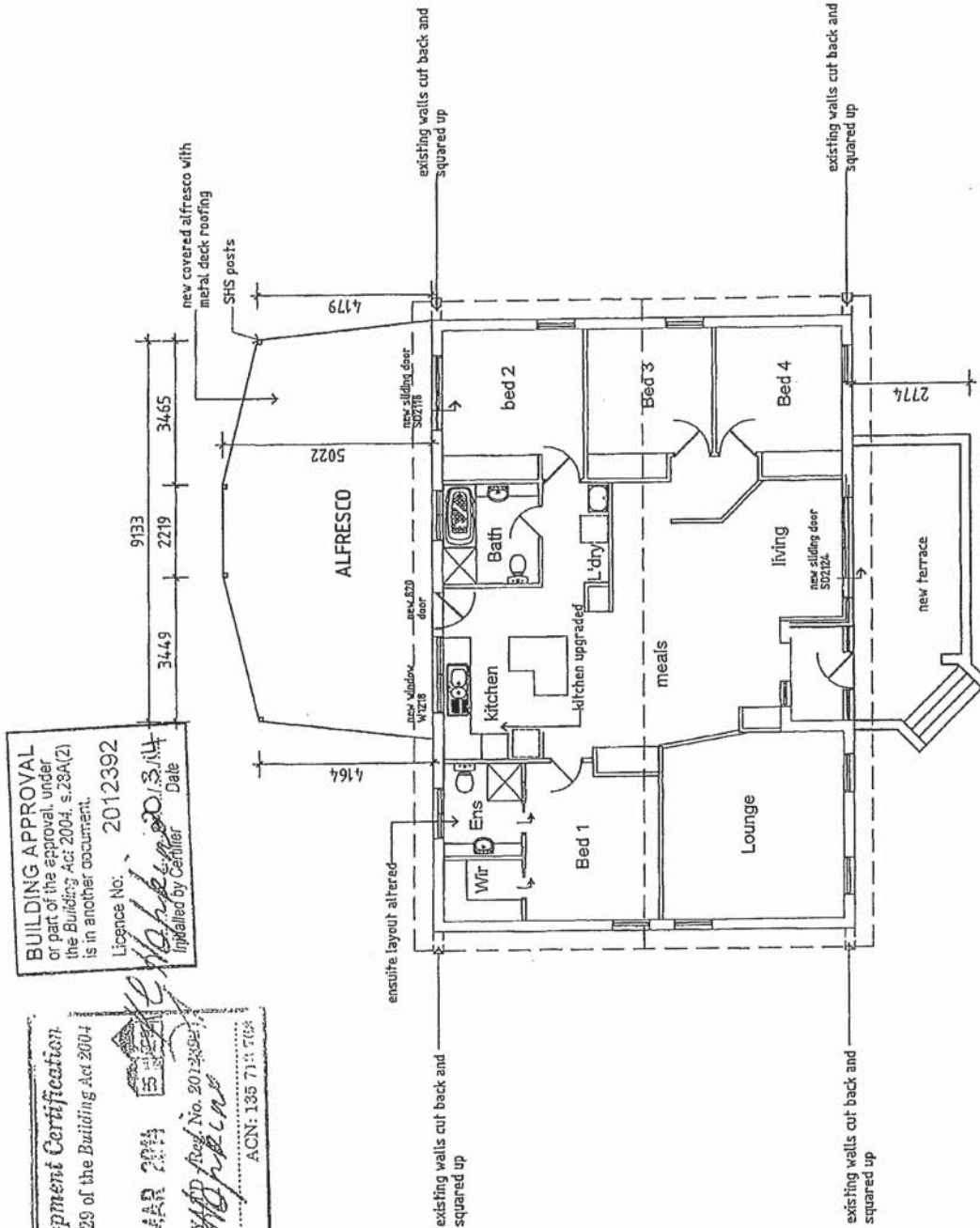
BUILDING APPROVAL
Issued under s.29 of the
Building Act 2004
CITECK HOP Pty Ltd
ACN: 135 713 763
Licence No: 2012 392
BCA Occupancy Class
Issue date: 20/13/14
Building signature: [Signature]

Planning & Development Regulation 2006
Section 1.100A
APPROVED
[Signature]
12.11.13
proposed and existing [Signature]
alfresco

Planning & Development Regulation 2006
Section 1.100A(2)
DECLARATION
of Extended Distance
[Signature]
into front setback

AREA
Existing living= 137sqm
Additional living=8.7sqm
Total living area=145.7sqm
Garage= 58sqm
Carport=38.9sqm

CLIENT		Robinson Residence	
PROJECT		PROPOSED ADDITIONS & ALTERATIONS	
Block 10 Section 21 Stirling			
Scale	1:100	Date	SEPT 11
Drawn	PM	Field	SEPT 11
DRAWING TITLE		FLOOR PLAN	
Revision		A102	



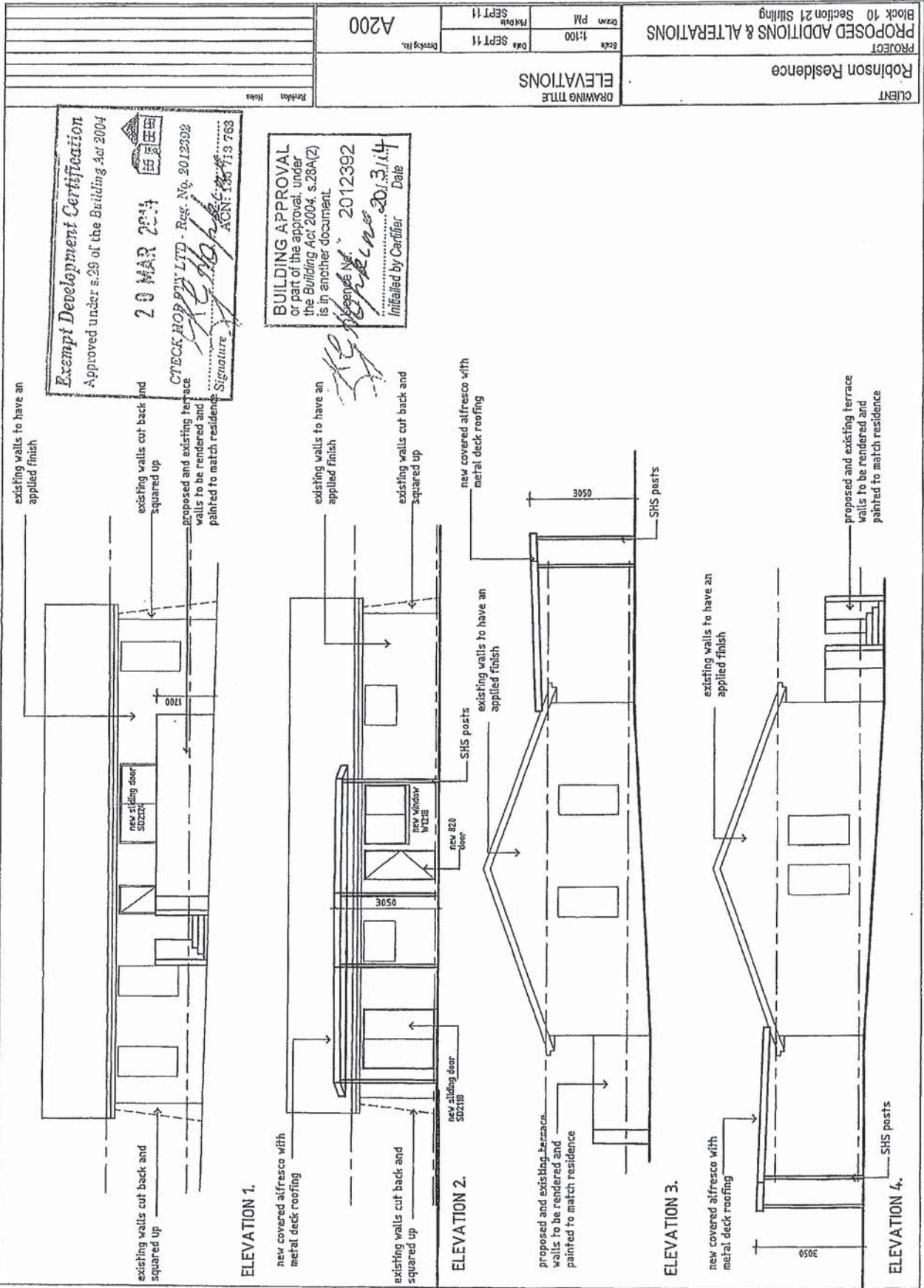
BUILDING APPROVAL
or part of the approval, under
the Building Act 2004, s.28A(2)
is in another document.

Licence No. 2012392
Date 20/03/14
Issued by Certifier

Exempt Development Certification
Approved under s.29 of the Building Act 2004

20 MAR 2014
CTECX HKE/01/000/Ref No. 2012392
Signature
ACN: 135 713 768

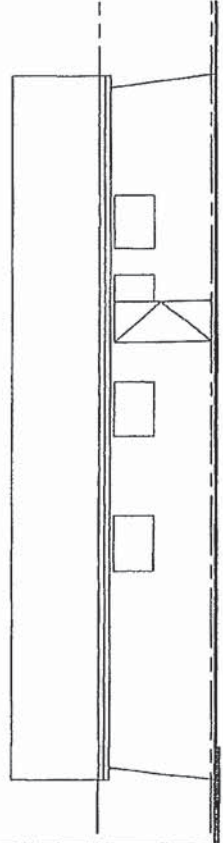
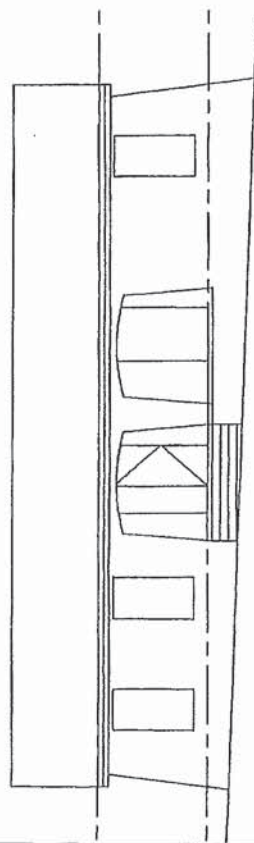
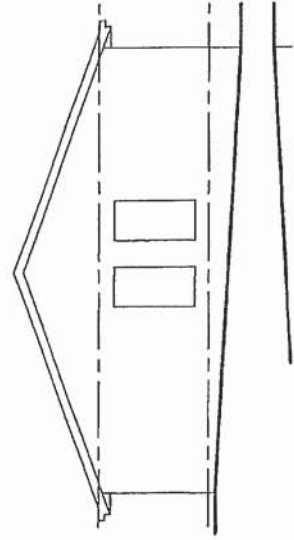
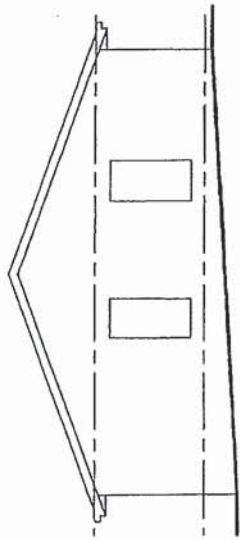
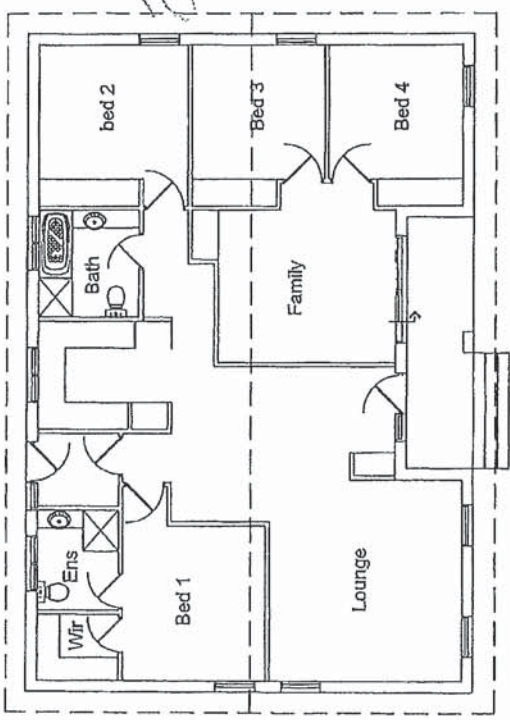
AREA
Existing living= 137sqm
Additional living=8.7sqm
Total living area=145.7sqm



CLIENT Robinson Residence		PROJECT PROPOSED ADDITIONS & ALTERATIONS Block 10 Section 21 Siding	
DRAWING TITLE EXISTING	Scale 1:100	Drawn PM	Check SEPT 11
A100		Drawing No.	

Exempt Development Certification
 Approved under s.29 of the Building Act 2004
20 MAR 2014
 CTBCEC LIMITED - Reg. No. 2012392
 Signature: *[Signature]*
 ACN: 135 713 763

BUILDING APPROVAL
 or part of the approval, under
 the Building Act 2004, s.28A(2)
 is in another document.
 Licence No. 2012392
[Signature]
 Initialed by Certifier
 Date 13/3/14



PLAN OF SANITARY DRAINAGE

DRAINAGE PLAN No. 32041

OWNER D. WILLET.T

BLOCK 10-11 SECTION 21 STIRLING A.C.T.

REFERENCE

D.T. Disconnector Trap	S.P.D. Stoneware Pipe Drain	I.C. Inspection Chamber	F.T. Floor Trap
E.V. Educt Vent	C.I.P. Cast Iron Pipe	M.H. Man Hole	S.V.P. Soil Vent Pipe
G.T. Gully Trap	I.O. Inspection Opening	V.P. Ventilating Pipe	V.R. Vertical Riser
J.U. Jump Up	F.P. Fixed Point	E.J. Expansion Joint	

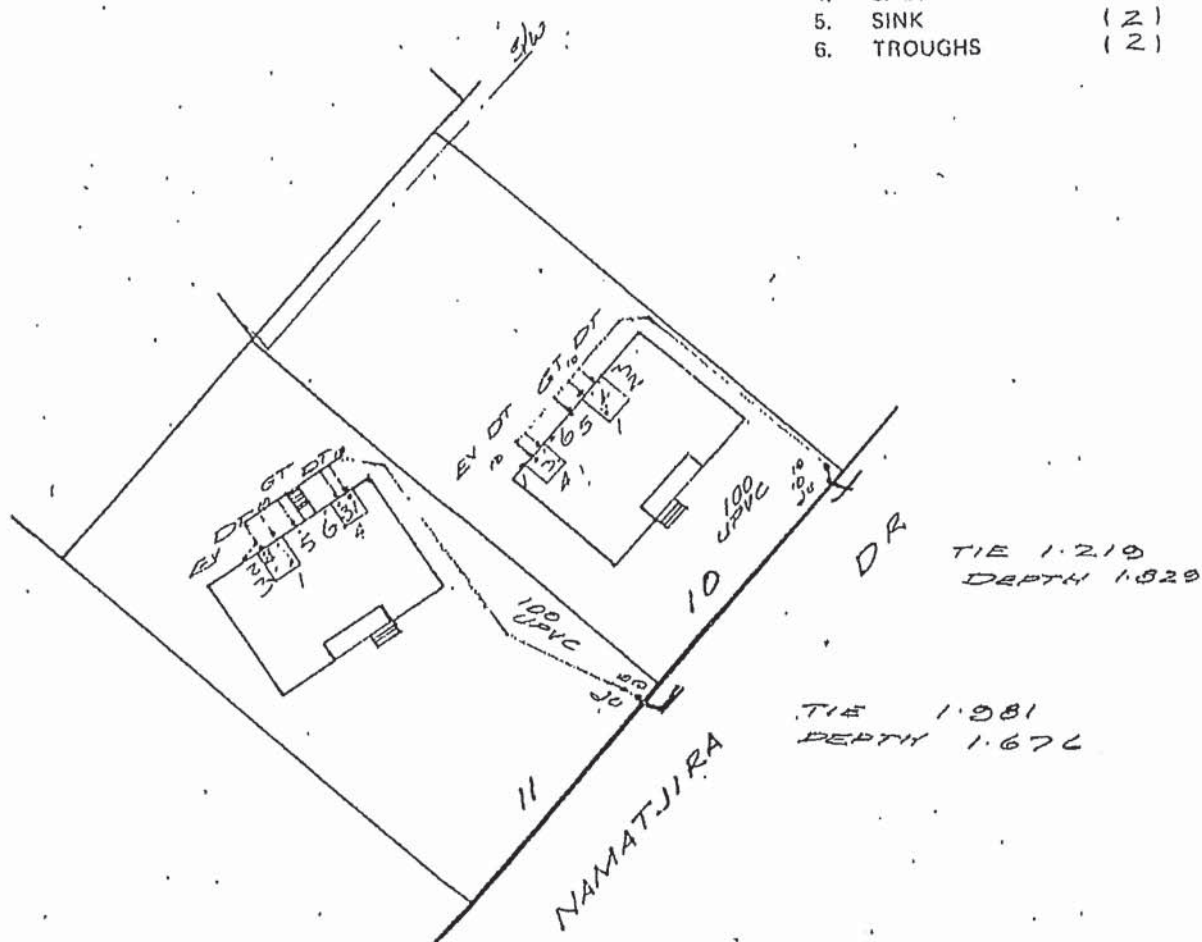
NOTE: All work to be executed in accordance with Canberra Sewerage & Water Supply Regulations

SCALE: METRIC 1:500



FIXTURES

	NO. OFF
1. WATER CLOSET	(4)
2. BATH	(2)
3. BASIN	(4)
4. SHOWER	(2)
5. SINK	(2)
6. TROUGHS	(2)



NOTES: DRAINS TO BE LAID ARE SHOWN IN BLUE LINES, THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.
DRAINS TO BE DELETED SHOWN BY RED X. EXISTING DRAINS SHOWN IN GREEN LINES.
POSITION OF BRANCH TO BE LOCATED BEFORE ANY WORK IS COMMENCED.
DRAINS TO BE LAID IN (U.P.V.C.) UNPLASTICISED POLYVINYL CHLORIDE IN ACCORDANCE WITH A.S.A. CA 67 1972 AND CANBERRA CODE OF PRACTICE ISSUE 1 JULY 1974.

Designed by MOORE & SMITH PTY. LTD. Phone 95 9236
Plumbing & Drainage Consultants

DRAWN G.M. 2.78 REF. W. 770

W. Toole
SEWERAGE ENGINEER 15.2.78