



Building Conveyancing Enquiries and Energy Rating Package Application

About this form

Use this form to request and pay for an Energy Rating Package or Conveyancing Enquiry for either a Residential or Non Residential ACT property with the ACT Planning and Land Authority.

All fields are mandatory unless stated otherwise.



The ACT Government is committed to improving the accessibility of web content. To provide feedback or request an accessible version of a document please phone 13 22 81.

Request Type & Professional User

Select a request type

Residential conveyancing enquiry

Are you a Professional User registered with the ACT Planning and Land Authority? ☒ Yes ☐ No



Professional User Details

Professional User ID

2875737

Name title (optional)

Given name

surety

Family name

property group

Contact phone number

1300767741

Property Information

Suburb/District

AMAROO

Section

70

Block

1

Unit (optional)

Lessee

Coady

Applicant's Reference (optional)

If you require help with suburb/district, section or block details click this information button



Address

1 Cooloola Street, Amaroo

Address (optional)

Suburb

AMAROO

State/Territory

ACT

Postcode

2914

Location description (optional)

Also known as 67 Katherine avenue according to ACTMAPI

Additional Property Information

If the residence is a former Government residence without alterations or additions, the building plans may not be available.

Is the property an ex Government residence? ☐ Yes ☒ No

Additional Documentation

Please click the appropriate box to include any of the following documentation. Additional fees apply (optional)

Sanitary Drainage Plan ☒

Priority

Our aim is to provide a 4 to 5 full working day turnaround period for a standard service. The turnaround time commences from receipt of the request at Mitchell and does not include weekends, public holidays or delivery time by mail or DX for professional users. For high priority requests an additional surcharge is applied and the turnaround period is 24 hours with the same conditions specified above.

What is the priority of this request? ☒ Standard ☐ High

Method of Delivery

Please select your preferred delivery method

- ☐ Collect at Mitchell Counter
- ☐ Collect at ACT Government Shopfront
- ☐ DX number
- ☒ By mail to the address provided

Address

info@suretyproperty.com.au

Address (optional)

Suburb

phillip

State/Territory

ACT

Postcode

2606

Applicant Declaration

As the applicant lodging this request, you are declaring:

- ☐ I am the lessee/owner.
- ☐ I am the solicitor acting on behalf of the lessee/owner.
- ☒ I have authorisation from the lessee/owner.
- ☐ I am/act for a mortgagee in possession.
- ☐ I have authorisation from the solicitor representing the lessee/owner.
- ☐ I have authorisation from the Trustee of the deceased estate.
- ☐ I have authorisation for power of attorney from the lessee/owner.

Please Note:

1. Documentation confirming that you have the lessee/owner's permission is required in all instances. Unless you have a "Professional User" ID you must present this written proof when you collect the requested information from the Mitchell Counter.
2. The applicant must comply with one of the above declarations to protect any personal information relating to the lessee/owner of this lease under the provisions of the Privacy Act 1988.
3. Section 59A of the ACT Building Act 1972 provides severe penalties for false or misleading statements.

Pay Now

Payment amount

\$ 104.10

Receipt

Your payment has been successful. Please keep a copy of this receipt for your records.

Date and time **01 Oct 2013 17:37:39**

Form submission ID **34003920131001172814**

Payment receipt number **1268328456**

Total amount paid \$ **104.10**

To save or print a copy of the completed form and receipt go to the "File" menu and select "Save as" or "Print".

Environment and
Sustainable
Development
Directorate
ABN 31 432 729 493

GPO Box 1908
Canberra ACT 2601
Telephone: **132281**

Your personal information will be used for the purposes to completing your enquiry and will be disclosed to the Environment and Sustainable Development Directorate to achieve that purpose and kept on file. Details about this transaction will be released to you or your financial institution if this transaction is queried and otherwise will not be disclosed to any third party except in accordance with the Privacy Act 1988 (Cth).

Form ID: 1014

Version: 22

Date: 01 Oct 2013

CONVEYANCING BUILDING FILE INDEX

SUBURB: | Amaroo

SECTION: 70

BLOCK: 1

UNIT: -

EX GOV:	No
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PAGE: 1/1

[illegible]

Drainage Plan Number: 104116

Soil Classification Number: Yes

Comments:

CONVEYANCING PART 2

No information is provided in respect of electrical, drainage or sewer matters and or to the location of overhead power lines or underground cables in relation to the building.

- | | <u>Yes</u> | <u>No</u> |
|--|--------------------------|-------------------------------------|
| 1. (a) Is this a government or ex government house? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| (b) If yes, is there a building file with approvals on it? | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Is there any record of incomplete building work on the building file?
See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are there any records on the building file of current housing
Indemnity insurance policies for building work?
(Current within 5 years) See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Are there any records on the building file showing building
applications still being processed?
(Current within 3 years) See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Are there any records on the building file of current notices issued
over the property? See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If available, copies of the following documents are provided:

- | | | |
|--------------------------------|-------------------------------------|-------------------------------------|
| • Certificate of Occupancy | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Survey Certificates | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Approved Building Plans | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Ex government Building Plans | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If requested:

- | | | |
|--------------------|-------------------------------------|--------------------------|
| • Drainage Plan(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------|-------------------------------------|--------------------------|

Search officer comments (if any?)

Search officer initials: Keryn

Cost of application: \$ 104.10

Date completed: 08-10-13

Please Note: Building approvals that have been generated via eDevelopment will be issued with a project number prefixed by the letter B. Initial building approval documentation will be identified with project number B20XXXXX only but will be referenced as B20XXXXX/A on the Certificate of Occupancy and Use. Any amendments to the original approval will be issued with the project number and an alphanumeric digit. The first amendment will be identified as B20XXXXX/B, the second amendment B20XXXXX/C etc.

SURVEYOR'S CERTIFICATE

John W. Foxlee & Assoc.

REGISTERED SURVEYOR (B. Surv.) M.I.S. (Aust)

42 Yiman Street, Waramanga, ACT. 2611 ♦ PO Box 3472, MANUKA, ACT. 2603.
Ph. (02) 6288 1257 Fax. (02) 6287 1224 Mobile 0412 625 806.

BLOCK 1, SECTION 70, DIVISION OF AMAROO.

The Manager,
M. & E. Alves Constructions,
4 Buggy Crescent,
McKELLAR. A.C.T. 2617.

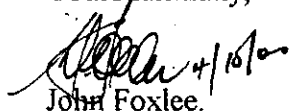
Dear Sir,

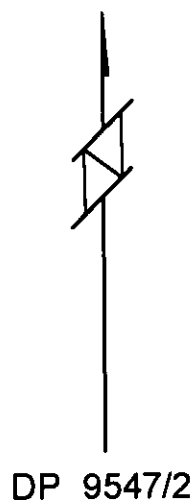
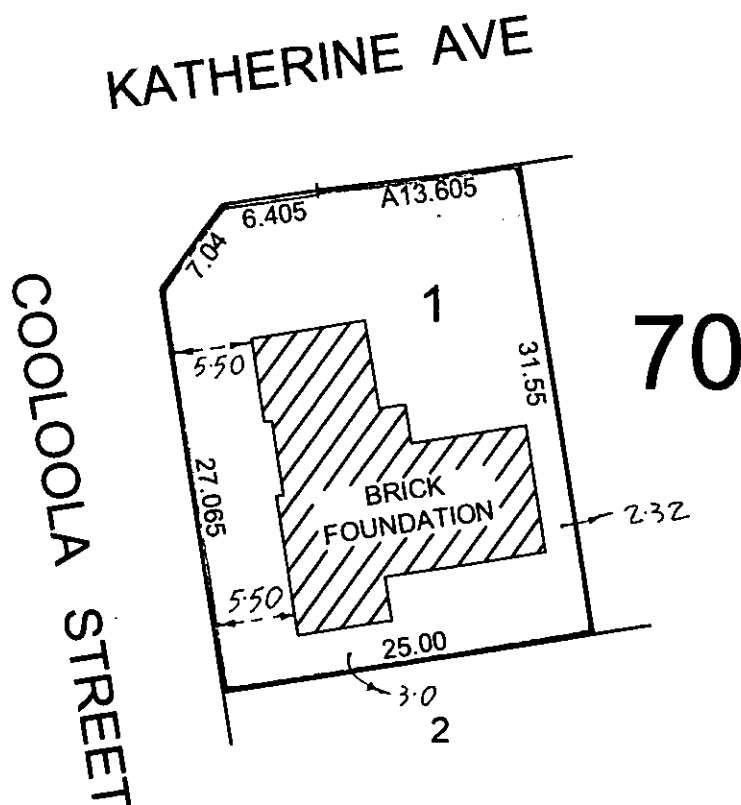
I certify having surveyed the land being Block 1, Section 70, Division of AMAROO in the Gungahlin District of the Australian Capital Territory, as delineated in Deposited Plan No. 9547 lodged at the office of the Registrar of Titles, Canberra City. The block has an area of 785 square metres or thereabouts and has a frontage to Cooloola Street.

Upon this land stands the brick foundation of a residence in the course of erection. The position of this brickwork in relation to the boundaries of the land is shown on the sketch plan endorsed hereon.

The brickwork is contained wholly within the boundaries of the land.

Yours faithfully,


John Foxlee.





ACT Building, Electrical and Plumbing Control

GPO Box 1908, Canberra ACT 2601

Certificate of Occupancy and Use

Certificate No. 005133N1C1

This Certificate is issued in accordance with Section 53 (3) of the Building Act 1972.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Builder MANUEL ALVES	Site for Project Address 1 COOLOOLA STREET 67 KATHERINE AVENUE Suburb AMAROO Section 70 Block 1
Notice of Intention to Start Work Nu 005133N1	Plan 005133/A

Building Work

Nature of Work	Project Item Description	Unit	Other Description	Class of Occupancy	Type of Construction
NEW STANDARD	RESIDENCE			1a (i)	NA

Comments

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Important note:

1. Residential building statutory warranties and residential insurance apply in relation to building work.
2. The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the Territory (including this Act) relating to the building or portion of the building.

TED MILNE
Deputy Building Controller

5/4/2001

Date

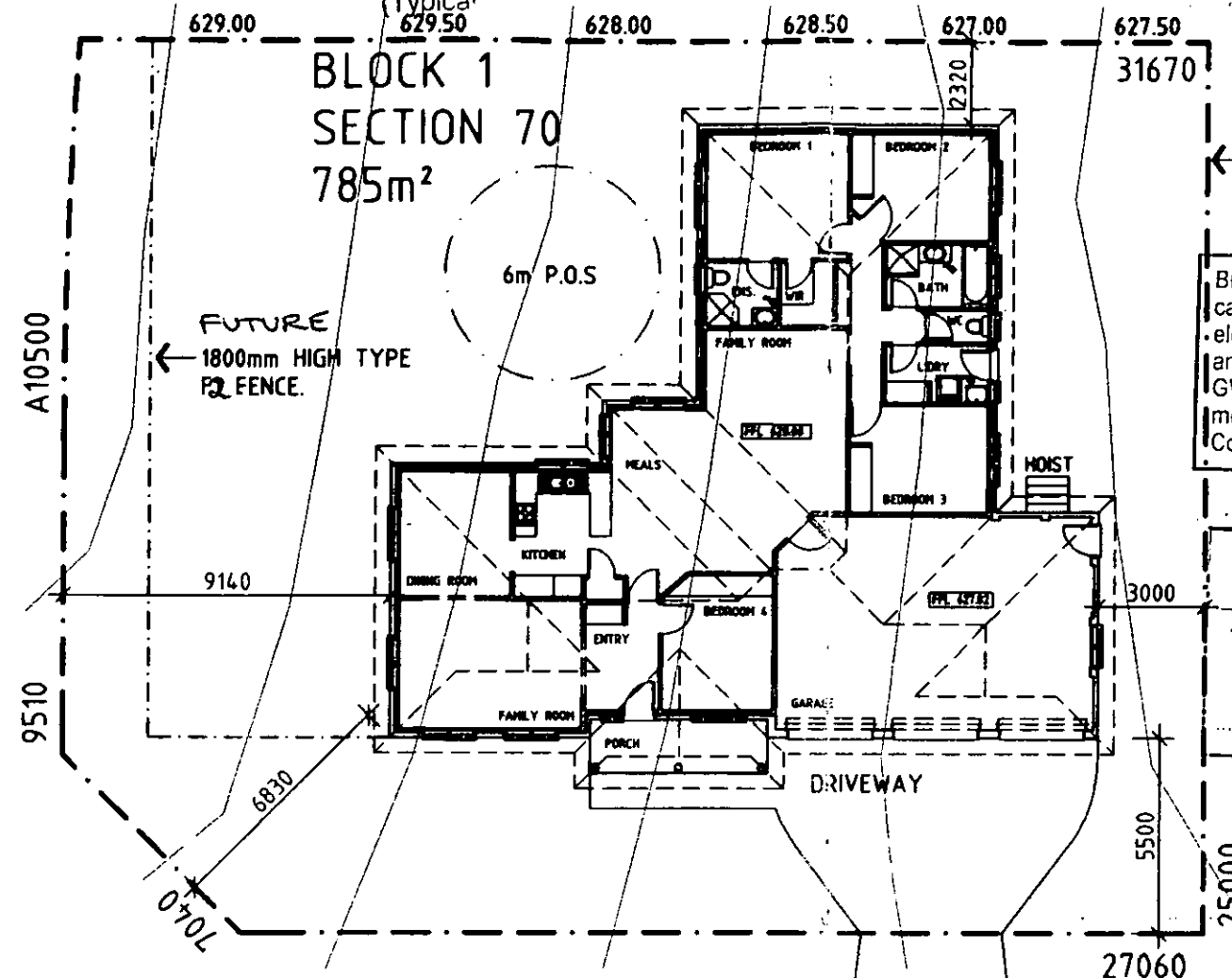
1.8m HIGH PALING
BOUNDARY FENCE

morgan.engineers.act
PO BOX 177 BELCONNEN ACT 2616
PHONE 02 6239 5300 FAX 02 6239 5201
Approved under s.34 of the Building Act 1972

John MORGAN B16

Date

KATHERINE AVE



1.8m HIGH PALING
BOUNDARY FENCE
(Typical)

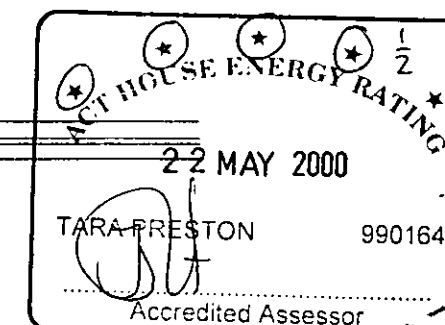
1800mm HIGH BOUNDARY
FENCE (TYPICAL)

Building form, setbacks to build-to-boundaries, car accommodation, materials, sheds, service elements, fencing, landscaping, block grading and drainage, clotheslines, driveways (refer GW/SD/DC.02), vergeworks, and construction methods shall be in accordance with the Lease Conditions and Development Requirements

Developer: AMAROO 3 Pty Ltd
Subdivision: AMAROO 3

Approved under terms of the Lease Conditions and Development Requirements. Design and siting requirements have not been reviewed.

12/5/00 17/4/00
Amaroo 3 Pty Ltd Date



COOLOOLA STREET

Insulation - Wall R1.5
Ceiling R4.0

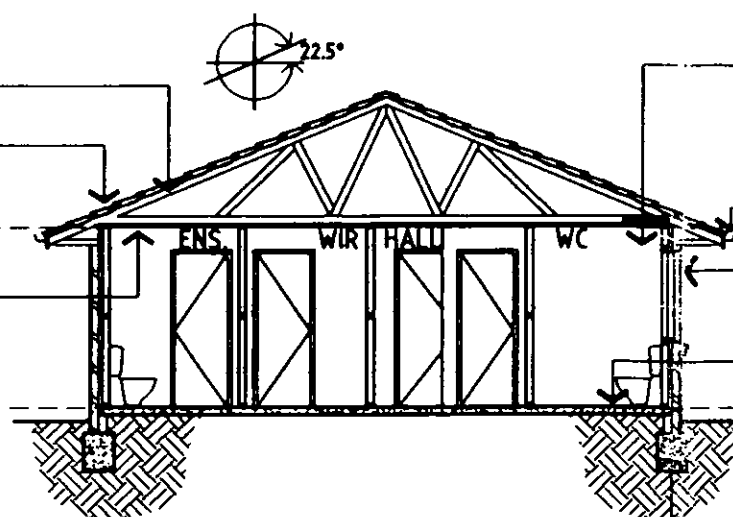
ROOF TRUSSES AT 900cts.

SELECTED ROOF TILES OVER 38 x 50
F7 TIMBER BATTENS AT 450cts.
OVER SISALATION.

10mm PLASTERBOARD CEILING LINING
SCREW FIXED TO TIMBER BATTENS
AT 450cts. FIX BATTENS TO
UNDERSIDE OF TRUSSES.

GRADE FINISHED GROUND LINE TO
GIVE FALLS AWAY FROM BUILDING.

ALL FOOTINGS DOWN TO SOLID
FOUNDATIONS WITH MIN 150KPa. OR
AS APPROVED BY SITE INSPECTION
PRIOR TO CONCRETE POUR.



SECTION A - A

SCALE 1 : 100

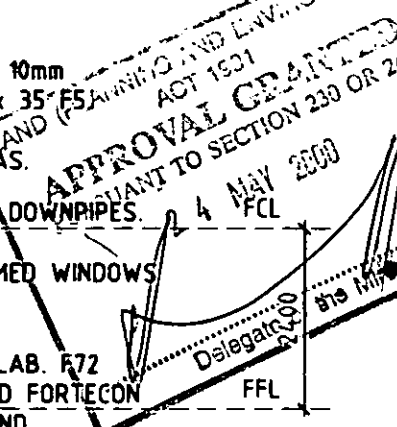
WALLS GENERALLY TO BE 10mm
PLASTERBOARD OVER 90 x 35 F5
STUDS AT 450cts.
VILLABOARD TO WET AREAS.

COLORBOND GUTTERS AND DOWNPIPES.

SELECTED ALUMINIUM FRAMED WINDOWS
WITH FLY SCREENS.

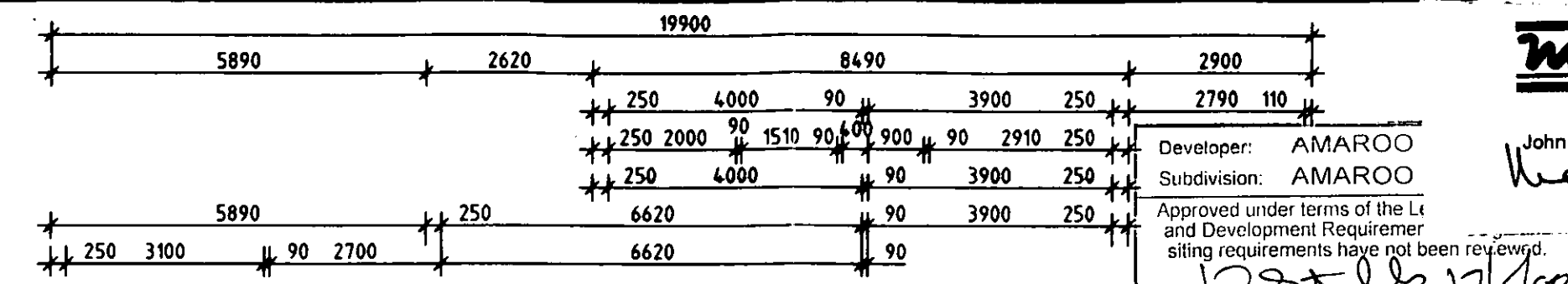
100mm 20MPA CONCRETE SLAB. F72
TOP 25mm COVER. BRANDED FORTECON
MEMBRANE OVER 50mm SAND
BLINDING. 150mm HARDCORE FILL.

500 x 400 20MPA CONCRETE FOOTING.
2 LAYERS F8TM, 3 BARS PER LAYER
R6 LIGS AT 1200cts. 50mm COVER.

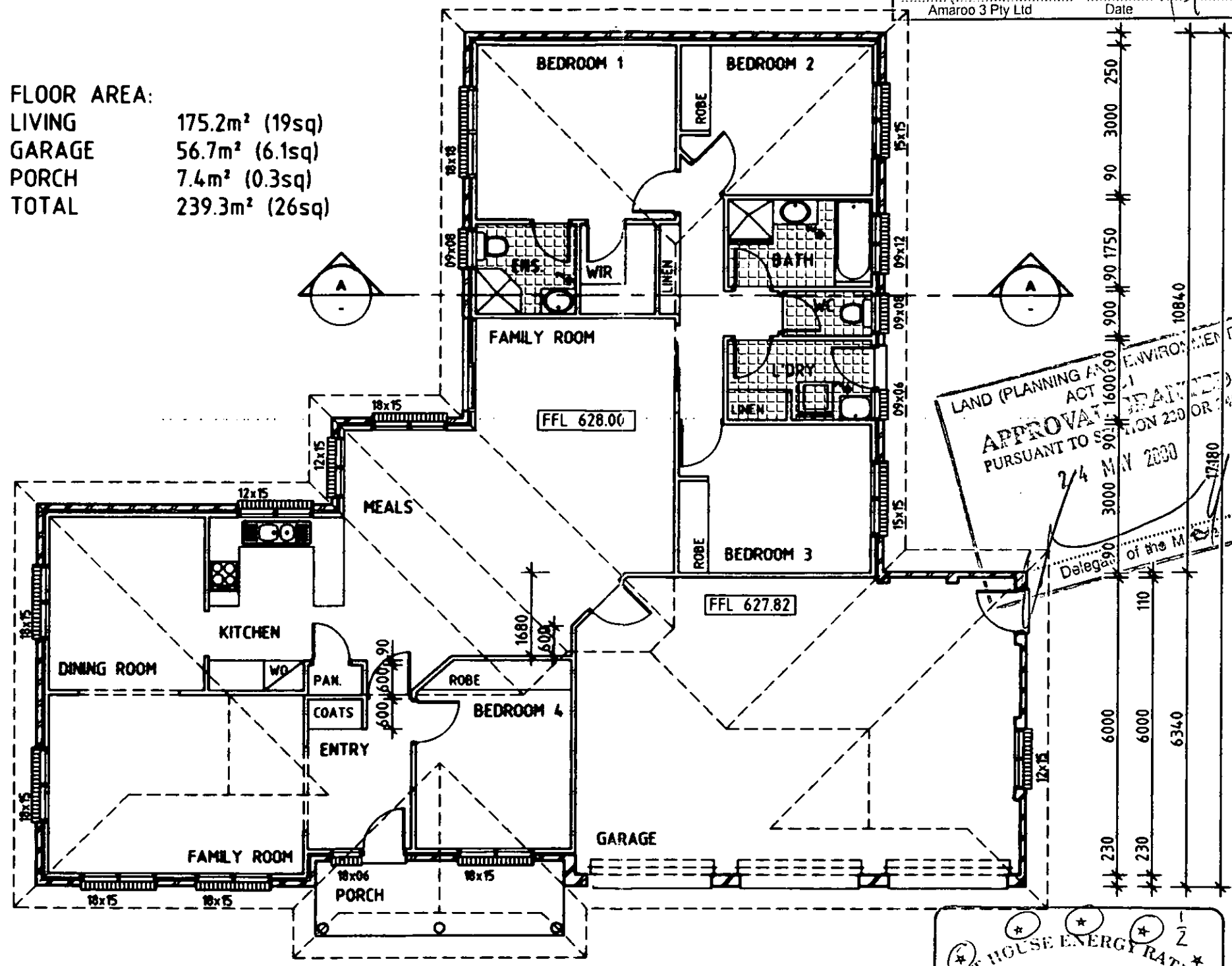


Plan No: 5/33/A	
8 JUN 2000	
Received BEPCON	
Planning and Land Management	
No.	Date Description Init.
AMENDMENTS	
Figured dimensions shall be used in preference to scaling of drawings.	
All materials and workmanship to be in strict accordance with current manufacturers printed instructions local regulations and SAA Codes.	
Drawings subject to copyrights and may not be reproduced in any form without the written permission of M & E ALVES CONSTRUCTION BUILDERS and A1 HOUSE DESIGNS.	
Builder:	
M & E ALVES CONSTRUCTIONS	
4 BUGGY CRES. PHONE: 02 62589685 MCKELLAR ACT 2617 FAX: 02 6259 6085 MOBILE: 0417 164 202	
Designer:	
A1 HOUSE DESIGNS	
ARCHITECTURAL DESIGN & COMPUTER DRAFTING	
39 VICTORIA STREET GOULBURN NSW 2580 PHONE/FAX: (02) 4821 0319 MOBILE 0407 483 319	
Client:	
MANUEL ALVES	
BLOCK 1, SECTION 70	
COOLOOLA STREET	
THE FORSHORES AMAROO	
AMAROO 3 STAGE 4 & 5	
Scale:	Date:
SAS	APRIL 2000
Drawn:	Job No.
O ALVES	78-001
Sheet	Amdt.
1 OF 3	A

Developer: AMAROO
 Subdivision: AMAROO
 Approved under terms of the Land and Development Requirements siting requirements have not been reviewed.
 John MORGAN B16
 Date: 2 JUNE 2000

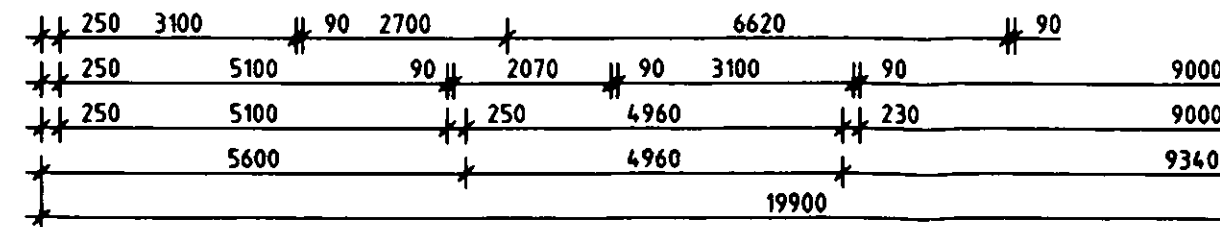


FLOOR AREA:
 LIVING 175.2m² (19sq)
 GARAGE 56.7m² (6.1sq)
 PORCH 7.4m² (0.3sq)
 TOTAL 239.3m² (26sq)



LAND (PLANNING ACT)
 APPROVAL GRANTED
 PURSUANT TO SECTION 220 OR 245
 2/4 MAY 2000
 Delegate of the M.C.

FLOOR PLAN
 SCALE 1 : 100



ACT HOUSE ENERGY RATING
 2 2 MAY 2000
 TARA M. RESTON 990164
 Accredited Assessor

Plan No.	5/33/A		
Date	8 JUN 2000		
Received BEPCON Planning and Land Management			
A 294.00 BUILDING APPLICATION			
No.	Date	Description	Init.

AMENDMENTS
 Figured dimensions shall be used in preference to scaling of drawings.
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Builder:
M & E ALVES CONSTRUCTIONS
 4-BUGGY CRES. PHONE: 02 62589685
 McKellar ACT 2617 FAX: 02 6259 6085
 MOBILE: 0417 164 202

Designer:
A1 HOUSE DESIGNS
 ARCHITECTURAL DESIGN & COMPUTER DRAFTING
 39 VICTORIA STREET GOULBURN NSW 2580
 PHONE/FAX: (02) 4821 0319
 MOBILE 0407 483 319

Client:
MANUEL ALVES
 BLOCK 1, SECTION 70
 COOLOOLA STREET
 THE FORSHORES AMAROO
 AMAROO 3 STAGE 4 & 5

Scale:	Date:
SAS	APRIL 2000
Drawn:	Job No.
O ALVES	78-001
Sheet	Amdt.
2 OF 3	A



WEST ELEVATION

SCALE 1 : 100

- DECORATIVE GABLE END.
- SELECTED ROOF TILES OVER SISALATION.
- COLORBOND GUTTERS AND DOWNPIPES.
- SELECTED ALUMINIUM FRAMED WINDOWS WITH FLY SCREENS.
- SELECTED FACE BRICKWORK.

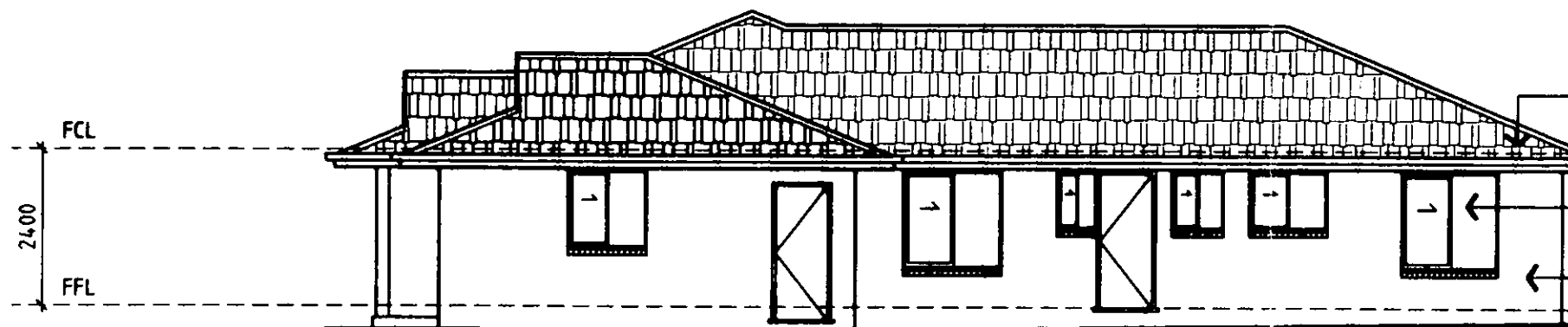
SELECTED-ROLLER DOOR.

Developer: AMAROO 3 Pty Ltd
Subdivision: AMAROO 3

Approved under terms of the Lease Conditions and Development Requirements. Design and siting requirements have not been reviewed.

SELECTED ROOF TILES OVER SISALATION.

- COLORBOND GUTTERS AND DOWNPIPES.
- SELECTED ALUMINIUM FRAMED WINDOWS WITH FLY SCREENS.
- SELECTED FACE BRICKWORK.

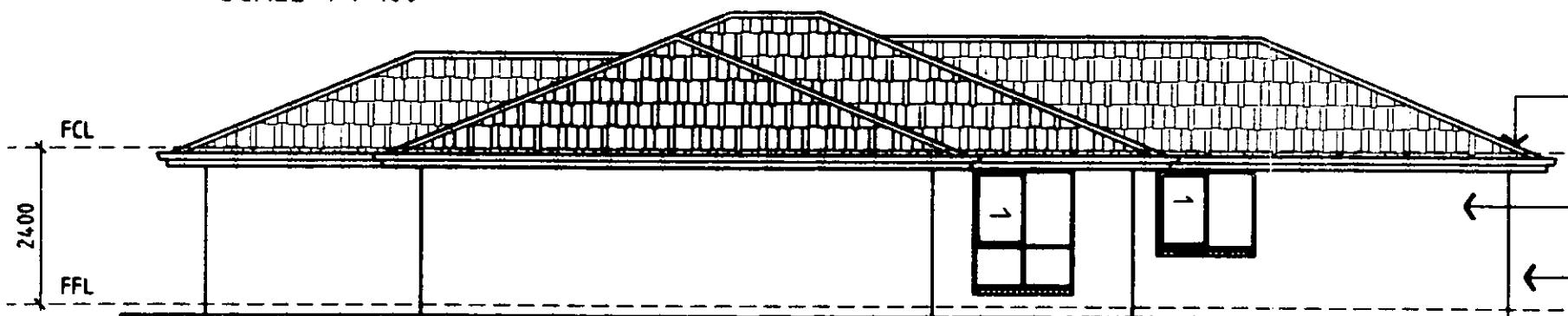


SOUTH ELEVATION

SCALE 1 : 100

SELECTED ROOF TILES OVER SISALATION.

- COLORBOND GUTTERS AND DOWNPIPES.
- SELECTED ALUMINIUM FRAMED WINDOWS WITH FLY SCREENS.
- SELECTED FACE BRICKWORK.

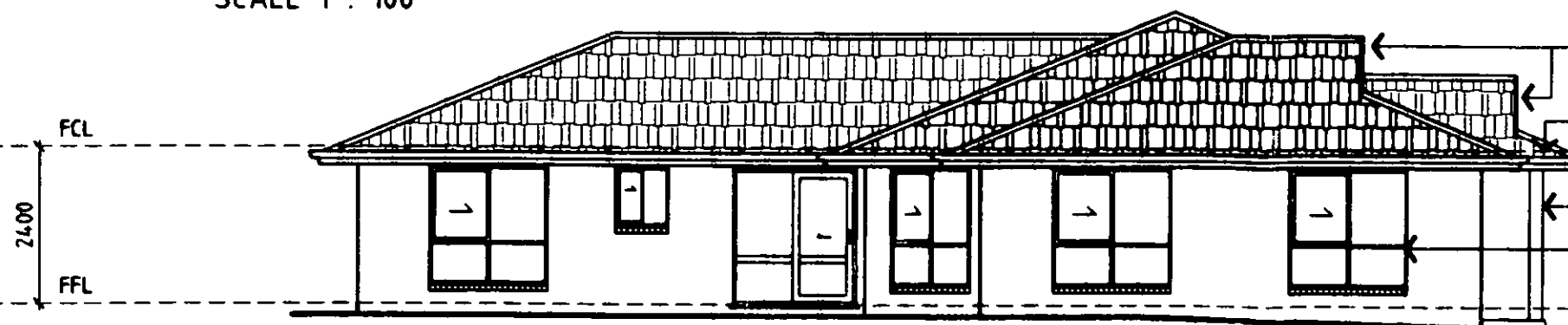


EAST ELEVATION

SCALE 1 : 100

SELECTED ROOF TILES OVER SISALATION.

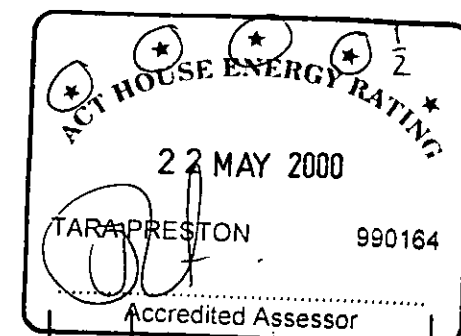
- COLORBOND GUTTERS AND DOWNPIPES.
- SELECTED ALUMINIUM FRAMED WINDOWS WITH FLY SCREENS.
- SELECTED FACE BRICKWORK.



NORTH ELEVATION

SCALE 1 : 100

- DECORATIVE GABLE END.
- SELECTED ROOF TILES OVER SISALATION.
- COLORBOND GUTTERS AND DOWNPIPES.
- SELECTED COLUMNS.
- SELECTED FACE BRICKWORK.



Plan No: 5133/A

A 29.4.00 BUILDING APPLICATION

No. Date Description REVISIONS Init.
Planning & Management

Figured dimensions shall be used in preference to scaling of drawings.

All materials and workmanship to be in strict accordance with current manufacturers printed instructions local regulations and SAA Codes.

Drawings subject to copyrights and may not be reproduced in any form without the written permission of M & E ALVES CONSTRUCTION BUILDERS and A1 HOUSE DESIGNS.

Builder:

M & E ALVES CONSTRUCTIONS

4 BUGGY CRES. PHONE: 02 62589685
McKELLAR ACT 2617 FAX: 02 6259 6085
MOBILE: 0417 164 202

Designer:

morgan.engineers.act
PO BOX 177 BELCONNEN ACT 2616
PHONE 02 6239 5300 FAX 02 6239 5201
Approved under s.34 of the Building Act 1972

John MORGAN B169
Date 2 JUNE 2000

Client:

MANUEL ALVES
BLOCK 1, SECTION 70
COOLOOLA STREET
THE FORSHORES AMAROO
AMAROO 3 STAGE 4 & 5

Scale: SAS	Date: APRIL 2000
Drawn: O ALVES	Job No. 78-001
Sheet 3 OF 3	Amdt. A



WORK AS EXECUTED

Drainage Plan No.

104116

PLAN OF SANITARY DRAINAGE

For M. & E. AMAROO

Block 1 Section 70 AMAROO

Scale 1: 200

All work must be carried out in conformity with the Canberra Sewerage
And Water Supply Regulations

Designed to as 3500

REFERENCE

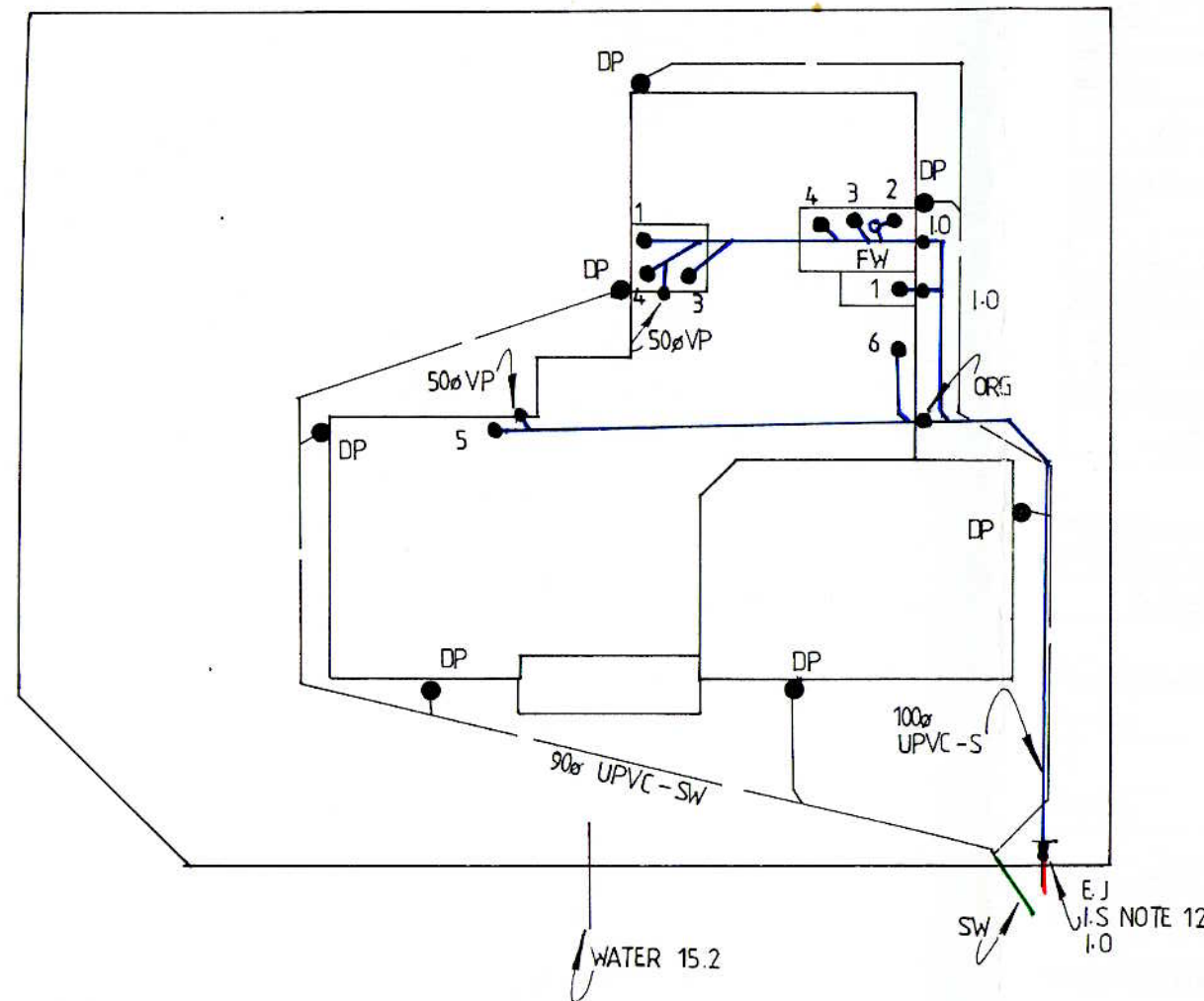
D.T.	Disconnecter Trap	1.	W. CLOSET	(2)
E.J.	Expansion Joint	2.	BATH	(1)
E.V.	Educt Vent	3.	BASIN	(2)
F.W.	Floor Waste	4.	SHOWER	(2)
I.C.	Inspection Chamber	5.	SINK	(1)
I.O.	Inspection Opening	6.	TROUGH	(1)
J.U.	Jump Up	7.	URINAL	(-)
M.H.	Man Hole	8.	CLEANERS SINK	(-)
O.R.G.	Overflow Relief Gully	9.	BIDET	(-)
S.V.P.	Soil Vent Pipe	11.	DISHWASHER	(-)
U.P.V.C.	Unplasticised Polyvinyl Chloride	12.	WASHING MACHINE	(-)
V.C.P.	Vitrified Clay Pipe	13.	GLASS WASHER	(-)
V.P.	Vent Pipe			

NOTES:

1. Drains to be laid shown in BLUE lines.
2. Existing drains shown in GREEN lines.
3. Existing drains 'X'ed in RED to be abolished to approval.
4. Drains to be supported on or from solid ground.
5. Copper pipes to be in accordance with AS 1432 Table 2 Type B tubes.
6. U.P.V.C. drains including stacks to be constructed in accordance with AS 2032
7. Drains under buildings must be retested. If test fails drains must be replaced.
8. Connection to ACTEW mains by ACTEW at contractors expense.
9. Sewer tie to be located on site before commencing any work.
10. This plan to be read in conjunction with approved Architectural plans and Specifications.
11. ORG levels to be in accordance with AS3500.2 clause 4.6.6.6 & 4.6.6.7.
12. I.O. at Property Boundary to be raised to ground level. See Plumbing Note 3.
13. Provide and install approved fire stop collars to all upvc penetrations of fire rated walls and floors.

AVE

KATHERINE



COOLOOLA

ST

SEWER TIE 2.1
DEPTH 2.2
CH 51.9SW TIE 3.5
DEPTH 1.4
CH -Stormwater approval
not included in this
application

CHECKED BY

Designed by BIRD MOORE & PARTNERS

Drawn: 9/00

Ref K437/B441