

**Standard Building Report
Standard Timber Pest Report
Compliance Report
Energy Efficiency Rating**



Client: Hanslow & Stewart
Property Address: 2/7 Grounds Crescent Greenway
Date of inspection: 02/05/2019
Our Ref: J#-3607889

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Contents	Part
Definitions to help you better understand this report	1
Building Report Summary	2
Room by Room Observations	3
Important Information Regarding the Scope and Limitations of the Inspection and this Report	4
Terms on which this report was prepared	5
Compliance Report	6
Timber Pest Report	7
Energy Efficiency Rating	8
Building Conveyancing Enquiry Plans Certificates	9
Invoice	10

Part 1 - Definitions to help you better understand this report

“Client” The person or persons, for whom the Inspection Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

“Building Consultant” A person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 ‘Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings’. The consultant must also meet any Government licensing requirement, where applicable.

“Building & Site” The inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries. In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the nominated residence and does not include inspection of common property.

“Readily Accessible Areas” Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels or accessible from a 3.6 metre ladder, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant’s unobstructed line of sight and within arm’s length.

“Structure” The loadbearing part of the building, comprising the Primary Elements.

“Primary Elements” Those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term ‘Primary Elements’ also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

“Structural Damage” A significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- (a) Structural Cracking and Movement – major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- (b) Deformation – an abnormal change of shape of Primary Elements resulting from the application of load(s).
- (c) Dampness – the presence of moisture within the building, which is causing consequential damage to Primary Elements.
- (d) Structural Timber Pest Damage – structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

“Conditions Conducive to Structural Damage” Noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

“Secondary Elements” Those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

“Finishing Elements” The fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term ‘Finishing Elements’ does not include furniture or soft floor coverings such as carpet and lino.

“Major Defect” A defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

“Minor Defect” A defect other than a Major Defect.

“Serious Safety Hazard” Any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

“Tests” Where appropriate the carrying out of tests using the following procedures and instruments:

(a) Dampness Tests means additional attention to the visual examination was given to those accessible areas which the consultant’s experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.

(b) Physical Tests means the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

Please Note:

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

In respect of any defect or significant item identified in this Report, a further detailed investigation by a competent person is strongly recommended to determine the cause, method and extent of any remedial work required, and associated costs.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on the implementation of a preventative maintenance program see “Important Note”.

Part 2 - Building Report Summary

This summary must be read in conjunction with the full reports and is designed as a quick reference only. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

Client Name	Hanslow & Stewart
Reference Number	J#-3607889
Property Address	2/7 Grounds Crescent Greenway
Wall Construction	Brick Veneer Walls
Internal Wall Construction	Timber Framed Walls
Floor Construction	Concrete Slab on Ground
Roof Covering	Concrete Roof Tiles
Year of Construction	1994
Accredited Inspector	Nathan Smith
Date of inspection	02/05/2019
Time of the inspection	8:30 AM
Weather Conditions at the time	Dry
Recent weather conditions	Dry
Building tenancy	Occupied and fully furnished
The Scope of the inspection was to cover	The Building and the property within 30 metres of the building subject to inspection
The inspected areas were	The Building Interior The Building Exterior The Roof Void Space The Roof Exterior The Site
The areas NOT accessible were	See Terms and Limitations
Building furnished	Fully furnished on the day of inspection
Number of bedrooms	Three
Bathrooms	Two
House size (approximately)	Residence: 108.46m ² , Garage: 37.43m ²
Building Report	Average - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.
Timber Pest Inspection	No active termites (live specimens) evident on the day of inspection
Compliance Report	There are no unapproved structures
Energy Efficiency Rating	2.5 Stars

Part 3 - Room by Room Observations

In accord with AS4349.1-2007 minor defects are not reported unless they are arising directly from a Major Defect. This report complies with Australian Standard AS 4349.1- 2007 Inspection of Buildings Part 1: Pre-Purchase inspections – Residential buildings – Appendix “C”

This is a visual inspection only limited to the areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection.

The Purpose of the Inspection: The purpose of the inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the property at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix C AS4349.1-2007.

The Scope of the Inspection: The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

Kitchen/Family

Ceiling	No visual defects evident on the day of inspection
Cornice	Good condition
Walls	No visual defects evident on the day of inspection
Floor	Carpet is in only reasonable condition, Floating Timber in good condition
Sink	Very functional
Taps	Good working order on the day of inspection
Splashback	Tiles in good condition
Bench top	Very functional
Top Cupboards	Good condition
Bottom Cupboards	Reasonable condition
Food Cupboards	Very functional
Window/s	Good Condition
Door/s and door furniture	Cavity sliding door - good
Rear Exit Door/s	Aluminium framed glass sliding door – good
Skirting	Reasonable condition
Architraves	Good condition

Lounge Room

Ceiling	No visual defects evident on the day of inspection
Cornice	Good condition
Walls	Minor cracks to lining joints evident on the day of inspection
Floor	Carpet is in only reasonable condition
Front Door and door furniture	Good Condition
Window/s	Good Condition
Skirting	Good condition
Architraves	Good condition

Passageway to Bedrooms

Ceiling	No visual defects evident on the day of inspection
Cornice	Good condition
Walls	No visual defects evident on the day of inspection
Floor	Carpet is in only reasonable condition
Skirting	Good condition
Architraves	Good condition

Bedroom 1

Ceiling	Minor water marks evident on the day of inspection Defect Significance: Minor
Cornice	Very functional
Walls	No visual defects evident on the day of inspection
Floor	Carpet is in only reasonable condition
Window/s	Good Condition
Door/s and door furniture	Good Condition
Skirting	Good condition
Architraves	Good condition
Robe	Good condition
Other	

The carpet is water damaged adjacent to the shower recess

Ensuite

Ceiling	No visual defects evident on the day of inspection
Cornice	Good condition
Walls	Good condition
Wall Tiles	Good condition
Shower Wall Tiles	Good condition
Shower floor	Tiles in good condition Defect Significance: Minor
Shower Screen	Good condition
Ensuite floor	Tiles in good condition
Basin	Very functional
Taps	Good working order on the day of inspection
Vanity Cupboard	Very functional
Bath	Very functional
Pan and cistern	Very functional
Door and door furniture	Cavity sliding door - good
Window/s	Good Condition
Architraves	Good condition
Note	This is an opinion of the general quality and condition of the shower recess on the day of inspection. The inspector cannot and does not offer an opinion or warranty as to whether it may be subject to future leakage
Other	The shower recess has been replaced/resealed at some point

Bedroom 2

Location	Adjacent to the Laundry
Ceiling	No visual defects evident on the day of inspection
Cornice	Good condition
Walls	No visual defects evident on the day of inspection

Floor	Carpet is in only reasonable condition
Window/s	Good Condition
Door/s and door furniture	Good Condition
Skirting	Good condition
Architraves	Good condition
Robe	Two door robe - Good

Bedroom 3

Location	Adjacent to the Front Entry
Ceiling	No visual defects evident on the day of inspection
Cornice	Very functional
Walls	Minor cracks to lining joints evident on the day of inspection Defect Significance: Minor
Floor	Carpet is in only reasonable condition
Window/s	Good Condition
Door/s and door furniture	Good, however suggest fit door stop
Skirting	Good condition
Architraves	Good condition
Robe	Two door robe - Good

Bathroom/Laundry

Ceiling	No visual defects evident on the day of inspection
Cornice	Very functional
Walls	No visual defects evident on the day of inspection
Shower Wall Tiles	Reasonable
Shower floor	Suggest re-seal at wall and floor junction Defect Significance: Minor
Shower Screen	Good condition
Bathroom floor	Tiles in good condition
Taps	Good working order on the day of inspection
Pan and cistern	Very functional

Door and door furniture	Good Condition
Window/s	Good Condition
Architraves	Good condition
Skirting tiles	Very functional

Roof Void Space

Roof structure	Standard truss roof - Good
Insulation	Thermal insulated ceiling - approx. 150mm thick
Full inspection was limited by	Inspection over the eaves was restricted due to the low pitch and construction allowing only a limited visual inspection. Clearance within sections of the roof was too low to allow bodily access. This allows only a limited visual inspection from a distance to be carried out. Insulation is present in the roof cavity. This restricted the inspection of some roofing timbers. Removal of the insulation is outside the scope of this report. Damage and or defects may be present and not detected in areas where the inspection was limited, obstructed or access was not gained

Garage

Ceiling	Sagging of ceiling lining evident in some areas Defect Significance: Minor
Entrance Doors	Roller door - Good
Cornice	Very functional
Walls	No visual defects evident on the day of inspection
Concrete Floor	Common cracks were located
Window/s	Good Condition
Side entrance door	Reasonable condition
Rear Exit Door/s	Very functional
Full inspection was limited by	Storage of items

Roof Exterior

Roof Covering	Tiles in good condition
Ridges	Re-bedding/pointing is required
Gutters	Appear serviceable

Downpipes	Appear serviceable
Eaves	Very functional
Fascia	Good condition
Bargeboard	Good condition
Note	This is an opinion of the general quality and condition of the roofing material on the day of inspection. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to make observations during prolonged rainfall

Exterior

- Front garden is well presented complimenting the house
- Rear garden is well presented complimenting the house
- Gardens should be easily maintained
- Paving at the rear has been effected by tree roots/ground movement and has raised/subsided requiring repair works
- Timber fencing requires maintenance/replacement
- Wood decay located in exterior garden edging/retaining walls: although there were no active pests on day of inspection these timbers are conducive to timber pest attack and should be replaced with a more durable material
- Brickwork - The external brickwork was seen to be affected by localised minor cracking in some areas. These cracks/defects could be due to extreme weather conditions that Canberra has experienced over the last decade and do not appear to be outside the expected range. The scope of the standard Building Inspection does not include a detailed analysis of the cause of the cracking listed as it is outside the area of our expertise
Brickwork - The external brickwork was seen to be affected by localised minor cracking in some areas. These cracks/defects could be due to extreme weather conditions that Canberra has experienced over the last decade and do not appear to be outside the expected range. The scope of the standard Building Inspection does not include a detailed analysis of the cause of the cracking listed as it is outside the area of our expertise
- Concrete driveway - Common cracking located in some areas
- Concrete driveway – Subsidence/lifting evident: possible trip/safety hazard
- Concrete paths – common cracking evident on the day of inspection
- Concrete paths have raised/subsided in some areas causing possible trip hazards – suggest appropriate repair work
- Smoke Detectors - Australian Standard 3786 – Advises that Smoke detectors are required for all buildings where people sleep. It is recommended that an electrician be consulted to advise on those installed or install these detectors
- Plumbing - All plumbing needs to be inspected and reported on by a plumber. It's recommended that a licensed plumber be consulted for further advice
- Electrical - All electrical wiring; meter-box and appliances need to be checked by a qualified electrician. The checking of any electrical item is outside the scope of this report
- We advise that all defects reported may deteriorate or cause further defects or be a safety hazard if not attended to by a qualified; licensed and insured person

Part 4 - Important Information Regarding the Scope and Limitations of the Inspection and this Report

TERMINOLOGY:

The Definitions of the Terms (Good), (Reasonable) & (Poor) below apply to DEFECTS associated with individual items or specific areas:

- Good/Good condition - The item or area inspected appears to be in Serviceable and/or Sound Condition without any significant visible defects at the time of inspection
- Reasonable/Very Functional - The item or area inspected shows minor defects, minor damage or wear and tear and may require repairs or maintenance
- Poor - The item or area inspected requires significant repairs or replacement and may be in a badly neglected state due to age or lack of maintenance or deterioration or not finished to an acceptable standard of workmanship

The Definitions (Above Average), (Average) and (Below Average) relate to the inspectors opinion of the Overall Condition of the Building:

- ABOVE AVERAGE - The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with building of similar age and construction.
- AVERAGE - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.
- BELOW AVERAGE - The Building and its parts show some significant defects and/or very poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Other Inspections and Reports Required:

It is Strongly Recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property, so that the purchaser can be well equipped to make an informed decision. These Inspections and Reports fall outside the guidelines for a Standard Property Report as specified in AS4349.1-2007 and are excluded from this Report.

- Electrical - All electrical wiring, meter-box and appliances need to be checked by a qualified electrician. The checking of any electrical item is outside the scope of this report.
- Plumbing -All plumbing needs to be inspected and reported on by a plumber. It's recommended that a licensed plumber be consulted for further advice.
- Smoke Detectors - Australian Standard 3786 – Advises that Smoke detectors are required for all buildings where people sleep. It is recommended that an electrician be consulted to advise on those installed or install these detectors
- Asbestos Inspection
- Mould Inspection
- Mechanical Services
- Drainage Inspection
- Alarm/Intercom/Data Systems
- Appliances Inspection
- Airconditioning Inspection
- Durability of Exposed Surfaces
- Structural (Engineer)
- Gasfitting Inspection

- Estimating Report
- Hydraulics Inspection
- Swimming Pool Inspection
- Garage Door Mechanical
- Hazards Inspection
- Fire/Chimney Inspection

Important Note

Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

Part 5 - Terms on which this report was prepared

SERVICE As requested by the Client, the inspection carried out by the Building Consultant ("the Consultant") was a "Pre-Purchase Standard Property Report".

PURPOSE OF INSPECTION The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covers or deals with any evidence of: Structural Damage; Conditions Conducive to Structural Damage; any Major Defect in the condition of Secondary Elements and Finishing Elements; collective (but not individual) Minor Defects; and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in "Special Conditions or Instructions", the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. 'Visual only' inspections are not recommended. A visual only inspection may be of limited use to the Client. In addition to a visual inspection, to thoroughly inspect the Readily Accessible Areas of the property requires the Consultant to carry out when ever necessary appropriate Tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).

3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.
4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.
6. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

LIMITED LIABILITY TO A PURCHASER WITHIN THE AUSTRALIAN CAPITAL TERRITORY

This Report is made solely for the use and benefit of the Client. The Consultant is not liable for any reliance placed on this report by any third party. However, within the ACT only and in accordance with the Civil Law (Sale of Residential Property) Act 2003 and the Civil Law (Sale of Residential Property) Regulations 2004, a copy of the report must be attached to the Contract for Sale and may in certain circumstances be relied upon by the Purchaser of residential property.

The circumstances in which a Purchaser of residential property within the ACT may rely on this report in respect of the state of the property at the time of the inspection are as follows:

- (a) the inspection was carried out no earlier than three months before the day the property was first advertised or offered for sale or listed by an agent; and
- (b) the date on which the contract was entered into was not more than 180 days after the date of the inspection; and
- (c) the report is provided to the Purchaser prior to or at the time the Contract for Sale is entered into between the Purchaser and vendor.
- (d) the service requested is Option 1 – Standard Inspection Report.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerator, ovens, stoves and ducted vacuum systems;

- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; ; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

(xv) ASBESTOS DISCLAIMER: No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided. If during the course of the Inspection asbestos or materials containing asbestos happen to be noticed then this may be noted in the Room By Room section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even buildings built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed.

If concerned or if the building was built prior to 1990 you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing and removal. If asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost sealing or of removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to people's health. You should seek advice from a qualified asbestos removal expert.

(xvi) MOULD (MILDEW AND NON_WOOD DECAY FUNGI) DISCLAIMER: Mildew and non-wood decay fungi is commonly known as Mould. However, mould and their spores may cause health problems or allergic reaction such as asthma and dermatitis in some people. No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided. If in the course of the inspection, Mould happened to be noticed it may be noted under the headings of the area where it was found. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

Liability and use of this report

This Report is made solely for the use and benefit of the Client. The Consultant is not liable for any reliance placed on this report by any third party. However, within the ACT only and in accordance with the Civil Law (Sale of Residential Property) Act 2003 and the Civil Law (Sale of Residential Property) Regulations 2004, a copy of the report must be attached to the Contract for Sale and may in certain circumstances be relied upon by the Purchaser of residential property.

No liability or responsibility whatsoever to any other party who may rely on the report wholly or in part. Any other party relying on these reports does so at their own risk.

The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.

The report is valid for one hundred and eighty (180 days) from the date of inspection. No liability will be accepted or claims considered after the expiration of this period of liability.

No liability or responsibility whatsoever will be accepted if the invoice for the report package remains unpaid. Payment is to be made on or before settlement of the sale contract.

No liability will be accepted on if the Report fails to notify of any termite damage/activity present at or prior the date of the report in any areas or sections of the property physical inaccessible for inspection or to which access was denied including but not limited to any areas or sections specified by the report

If a defect is identified that has not been documented in this report Rapid Reports must be notified before any remediation work is undertaken. No liability will be accepted without Rapid Reports having been informed of the defect and given the opportunity to reinspect the property and propose a resolution. No liability will be accepted for any costs incurred prior to Rapid Reports reinspection the property

Part 6 - Compliance Report

2/7 Grounds Crescent, Greenway, ACT 2900

SECTION: 37 BLOCK: 2

This is a pre-purchase compliance report with regard to approval of any alterations to the property. It is completely restricted to an onsite comparison with the Building File supplied by the Environment and Sustainable Development Directorate. Commenting on amendments to plumbing and electrical installations are not included in this compliance report.

The following Certificates of Occupancy were provided and are attached.

PROJECT	CERTIFICATE	DATE	PLAN NUMBER
Townhouse	Certificate not numbered	Dec 5, 1994	85043/A/C

The following documents have been received from the Building Counter at the Environment and Sustainable Development Directorate.

- Residential Conveyancing Enquiry
- Building File Index
- Survey Plan / Certificate
- Drainage Plan
- Plans & Certificates as listed above

Compliance Notes

- This home was found to be substantially constructed in accordance with the approved plans.
- There are no unapproved structures.

Part 7 - Timber Pest Inspection Report

Definitions to help you better understand this report

“Timber Pest Attack” Timber Pest Activity and/or Timber Pest Damage.

“Timber Pest Activity” Telltale signs associated with ‘active’ (live) and/or ‘inactive’ (absence of live) Timber Pests at the time of inspection.

“Timber Pest Damage” Noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests.

“Major Safety Hazard” Any item that may constitute an immediate or imminent risk to life, health or property resulting directly from Timber Pest Attack. Occupational, health and safety or any other consequence of these hazards has not been assessed.

“Conditions Conducive to Timber Pest Attack” Noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests.

“Readily Accessible Areas” Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels or accessible from a 3.6 metre ladder, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term ‘readily accessible’ also includes:

- accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the areas is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and
- areas at the eaves of accessible roof spaces that are within the consultant’s unobstructed line of sight and within arm’s length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

“Client” The person or persons for whom the Timber Pest Report was carried out or their Principal (i.e. the person or persons for whom the report was being obtained).

“Timber Pest Detection Consultant” A person who meets the minimum skills requirement set out in the current Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports or state/territory legislation requirements beyond this Standard, where applicable.

“Building and Site” The main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

“Timber Pests” One or more of the following wood destroying agents which attack timber in service and affect its structural properties:

- *Chemical Delignification* - the breakdown of timber through chemical action.

(b) *Fungal Decay* - the microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include mould, which is a type of fungus that does not structurally damage wood.

- *Wood Borers* - wood destroying insects belonging to the order ‘Coleoptera’ which commonly attack seasoned timber.
- *Termites* - wood destroying insects belonging to the order ‘Isoptera’ which commonly attack seasoned timber.

“Tests” Additional attention to the visual examination was given to those accessible areas which the consultant’s experience has shown to be particularly susceptible to attack by Timber Pests. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

“Instrument Testing” Where appropriate the carrying out of Tests using the following techniques and instruments:

- electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements;
- stethoscope - an instrument used to hear sounds made by termites within building elements;
- probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees; and
- sounding - a technique where timber is tapped with a solid object.

“Subterranean Termite Management Proposal” A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.

Terms on which this report was prepared

SERVICE As requested by the Client, the inspection carried out by the Timber Pest Detection Consultant (“the Consultant”) was a “Standard Timber Pest Report”.

PURPOSE The purpose of this inspection is to assist the Client to identify and understand any Timber Pest issues observed at the time of inspection.

SCOPE OF INSPECTION This Report only deals with the detection or non detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernable at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building & Site and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

ACCEPTANCE CRITERIA Unless noted in “Special Conditions or Instructions”, the building being inspected was compared with a similar building. To the Consultant's knowledge the similar building used for comparison was constructed in accordance with generally accepted timber pest management practices and has since been maintained during all its life not to attract or support timber pest infestation.

Unless noted in “Special Conditions or Instructions”, this Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. This Report therefore cannot deal with:

- (a) possible concealment of timber pest attack, including but not limited to, timber pest attack concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent timber pest attack, including but not limited to, timber pest attack that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which this Report was based please discuss your concerns with the Consultant on receipt of this Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

Limitations

The Client acknowledges:

1. This Report does not include the inspection and assessment of matters outside the scope of the requested inspection and report.
2. The inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
3. The detection of drywood termites may be extremely difficult due to the small size of the colonies. No warranty of absence of these termites is given.
4. European House Borer (*Hylotrupes bajulus*) attack is difficult to detect in the early stages of infestation as the galleries of boring larvae rarely break through the affected timber surface. No warranty of absence of these borers is given. Regular inspections including the carrying out of appropriate tests are required to help monitor susceptible timbers.
5. This is not a structural damage report. Neither is this a warranty as to the absence of Timber Pest Attack.
6. If the inspection was limited to any particular type(s) of timber pest (e.g. subterranean termites), then this would be the subject of a Special-Purpose Inspection Report, which is adequately specified.
7. This Report does not cover or deal with environmental risk assessment or biological risks not associated with Timber Pests (e.g. toxic mould) or occupational, health or safety issues. Such advice may be the subject of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified inspector. The choice of such inspector is a matter for the Client.
8. This Report has been produced for the use of the Client. The Consultant or their firm or company are not liable for any reliance placed on this report by any third party, except as provided in the section Limited Liability To a Purchaser within the Australian Capital Territory.

Limited Liability to a Purchaser within the Australian Capital Territory

This Report is made solely for the use and benefit of the Client. The Consultant is not liable for any reliance placed on this report by any third party. However, within the ACT only and in accordance with the Civil Law (Sale of Residential Property) Act 2003 and the Civil Law (Sale of Residential Property) Regulations 2004, a copy of the report must be attached to the Contract for Sale and may in certain circumstances be relied upon by the Purchaser of residential property.

The circumstances in which a Purchaser of residential property within the ACT may rely on this report in respect of the state of the property at the time of the inspection are as follows:

- the inspection was carried out no earlier than three months before the day the property was first advertised or offered for sale or listed by an agent; and
- the date on which the contract was entered into was not more than 180 days after the date of the inspection; and
- the report is provided to the Purchaser prior to or at the time the Contract for Sale is entered into between the Purchaser and vendor.
- the service requested is Option 1 – Standard Inspection Report.

EXCLUSIONS

The Client acknowledges that:

1. This Report does not deal with any timber pest preventative or treatment measures, or provide costs for the control, rectification or prevention of attack by timber pests. However, this additional information or advice may be the subject of a timber pest management proposal which is adequately specified.

Results of inspection, Summary Only

The Purpose of the inspection:

Is to give advice about the condition of the property with regard to timber pests.

Weather Conditions at the time of the Inspection:

Dry

Contact the Inspector: Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you prior to acting on this report.

IMPORTANT DISCLAIMER

- This Summary is supplied to allow a quick and superficial overview of the inspection results.
- This Summary is NOT the Report and cannot be relied upon on its own.
- This Summary must be read in conjunction with the full report and not in isolation from the report.
- If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.
- The Report is subject to conditions and limitations. Your attention is particularly drawn to the Clauses, Disclaimer of Liability to Third Parties, Limited Liability to a Purchaser within the Australian Capital Territory and to the Notice to the Purchaser at the back of this Report.

TIMBER PEST ACTIVITY

Were active subterranean termites (live specimens) found?

No - Read the Report in Full

Was visual evidence of subterranean termite workings or damage found?

No - Read the Report in Full

Was visible evidence of borers of seasoned timbers found?

No - Read the Report in Full

Was evidence of damage caused by wood decay (rot) fungi found?

Yes - Read the Report in Full

Are further inspections recommended?

Yes - Read the Report in Full

Where any major safety hazards identified?

No - Read the Report in Full

In our opinion, the susceptibility of this property to timber pests is considered to be

Moderate to High - Read the Report in Full. Due to the Canberra climate, proximity to bush reserve and high density of suburban bushland we in Canberra reside in a natural environment for termites. The 'moderate to high' rating is the minimum degree of risk for our region and as directed by our insurers in conjunction with CSIRO Termite Hazard Mapping.

For complete and accurate information You must refer to the following Complete Visual Timber Pest Report.

Important: We strongly recommend the purchaser make inquiry from the vendor about Timber Pests and in particular Termites for this property.

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost. For further information or advice see Section C "Accessibility".

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on how to help protect against financial loss due to timber pest attack see Section F.

Accessibility

Areas inspected

The inspection covered the Readily Accessible Areas of the Building and Site including the house interior; house exterior; roof exterior; roof space; subfloor space; the site including fences; and outbuildings.

Areas not inspected

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. The Consultant did not move or remove any obstructions which may be concealing evidence of defects including timber pest attack. Areas, which are not normally accessible, were not inspected such as under slabs on ground as it is not "considered practical" to gain access to them. Evidence of timber pest attack in obstructed or concealed areas may only be revealed when the items are moved or removed or access has been provided.

Are there any Area(s) and/or Section(s) to which Access should be gained? Not Applicable

Significant Items

Termites

Access Limitations	See building inspection report limitations
Were active (live) termites found?	None found
Was a termite nest observed?	None found
Was evidence of termite workings or termite damage found?	None found
Was any evidence of timber damage visible?	None found
Where activity or damage is noted, does it present a major safety hazard?	None found
Was evidence of a possible previous termite management program &/or treatment found?	None found
Was a Durable Notice found?	None found

Wood Borers

Access Limitations	See building inspection report limitations
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Was evidence of Wood Borers found? **None found**

Where activity or damage is noted, does it present a major safety hazard? **None found**

Fungal Decay

Was evidence of wood decay (rot) fungi found? **Yes observed**

Retaining Walls **Not Applicable**

Garden Edging **Moderate to extensive damage was visible
Defect Significance: Minor**

Timber perimeter fencing **Moderate damage was visible
Defect Significance: Minor**

Timber pergola members **Not Applicable**

Timber deck members **Not Applicable**

Barge Boards **Not Applicable**

Fascia Boards **Not Applicable**

Tongue and groove flooring **Not Applicable**

Particle board flooring **Not Applicable**

Bearers and joists **Not Applicable**

Tree Stumps **Not Applicable**

Timber windows externally **Not Applicable**

Conductive Conditions

Timber garden edging/walls **Untreated hardwood sleeper retaining walls in direct contact with soil were noted – As these conditions are highly conducive to timber pest (subterranean termite) and may conceal termite activity replacement with a more durable material is essential.**

Tree stumps **Not Applicable**

Damp ground in Subfloor Area **Not Applicable**

Timber formwork left in Subfloor **Not Applicable**

Signs of possible shower leak **Not Applicable**

Conductive to Undetected Entry

Access Limitations **See building inspection report limitations**

Is there insufficient slab edge exposure?	None found
Was anything obstructing any weephole/vent face on external walls?	None found
Are ant caps in good condition?	Not Applicable
Are there timbers in contact with the ground?	Not Applicable

Conclusion

Are further inspections recommended?	Yes - Read the Report in Full
Were any major safety hazards identified?	No - Read the Report in Full
Susceptibility to timber pests is considered to be?	Moderate to High - Read the Report in Full. Due to the Canberra climate, proximity to bush reserve and high density of suburban bushland we in Canberra reside in a natural environment for termites. The 'moderate to high' rating is the minimum degree of risk for our region and as directed by our insurers in conjunction with CSIRO Termite Hazard Mapping.
Are there any areas and or sections of the building to which access should be gained?	No - Read the Report in Full
At the time of the inspection the DEGREE OF RISK OF SUBTERRANEAN TERMITE INFESTATION to the overall property was considered	Moderate to High
Do you recommend a Subterranean Termite treatment program?	Not essential, but 12 monthly inspections are essential
Due to the degree of risk of subterranean termite infestation noted, how often should a full inspection be conducted?	12 Monthly
Do you recommend that a separate, more invasive inspection be carried out	No

Your attention is drawn to the advice contained in the Terms & Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

Risk management options

To help protect against financial loss, it is essential that the building owner immediately control or rectify any evidence of destructive timber pest activity or damage identified in this Report. The Client should further investigate any high risk area where access was not gained. It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest attack.

It is recommended that the client act on the following advice to further protect their investment against timber pest infestation:

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack. To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard

AS 3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS 3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and that thorough regular inspections of the building are necessary.

If the Client has any queries or concerns regarding this Report, or the Client requires further information on a risk management program, please do not hesitate to contact the person who carried out this Inspection.

Additional comments

There are no additional comments

Annexures to this report

There are no annexures to this report

Important Note for inspections in the Australian Capital Territory

For Residential Properties in the Australian Capital Territory, please be advised of the following matters:

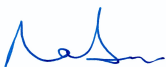
(a) that, in accordance with Civil Law (Sale of Residential Property) Regulations 2004, within 7 days after this report is prepared, the following information will be given to the Territory for inclusion in a publicly available register:

- the fact that the report has been prepared;
- the street address of the property;
- the inspection date stated in this report;
- the name of the person who prepared the report; and
- if the person who prepared this report did so as an employee or agent of another entity – the name and contact details of that other entity.

(b) that the person who prepared this report (or that person's employer or principal) may give a copy of this report, on payment of a reasonable charge, to a person who entered into a contract to buy the property.

Certification

We take this opportunity to thank you for your instructions and we look forward to working with you again.



Nathan Smith, 201284 (Licenced Building Assessor)
ACTNOW Rapid Reports



CGU Professional

Policy No: 83CON1563722
Account No: 0202841
Account Name: PSC CONNECT-BUILDING & PEST(CLAIMS MADE)

Certificate of Currency

Page: 1 of 2

Item 1 The Insured: HOME REPORTS PTY LTD
T/AS ACT NOW RAPID REPORTS

Item 2 Address: PO BOX 1220
TUGGERANONG DC
ACT 2901

Item 3 Professional Services Covered by Policy One:
Building Inspector and Pest Management Control

Insured's Business Covered by Policy Two:
As per the Professional Services stated in Policy One

Item 4 Description of Policy:
Professional Indemnity + Broadform Liability (CGU PIB 03-17)

Period of Insurance: From 30/06/201 8 to 4:00 pm on 30/06/201 9 Item 6

Particulars of Risk:

Policy One: Civil Liability Professional Indemnity

6.1 The Total Sum Insured is \$2,000,000 which includes all Policy sections, and
\$4,000,000 in the aggregate for all Claims.

6.2 Amount of the Excess

(a) Australia and New Zealand Jurisdiction	\$3,500
(b) Other Jurisdiction	\$3,500
(c) Enquiries	\$1,000
(d) Employment Practices Liability	Not Applicable
(e) Fidelity Cover	Not Applicable
(f) Cyber Cover Extension	Not Applicable

6.3 The Retroactive Date is 30/06/2014.

6.4 Jurisdictional Limits are WORLD WIDE, EXCLUDING U.S.A. AND CAN ADA.

6.5 Specific Cover Limits

(a) Enquiries	\$250,000
(b) Employment Practices Liability	Not Insured
(c) Fidelity Cover	Not Insured
(d) Cyber Cover Extension	Not Insured

Policy Two: Broadform Liability

6.6 Sum Insured

(a) Public Liability (Unlimited in the aggregate)	\$10,000,000
(b) Products Liability (In the aggregate)	\$10,000,000
(c) Advertising Liability (In the aggregate)	\$10,000,000
(d) Property in the Insured's Physical or Legal Control	\$100,000

CGU Professional Risks, CGU Insurance Limited ABN27 004



Policy No: 83CON1563722

Certificate of Currency

Page: 2 of 2

6.7	Excess (each and every Property Damage claim only)	
(a)	Public Liability	\$1,000
(b)	Products Liability	\$1,000
(c)	Advertising Liability	\$1,000
(d)	Property in the Insured's Physical or Legal Control	\$1,000

Item 7 Additional Notes:

Public Liability
The Retroactive Date is 30/06/2014.

Item 8 Date and Place of Issue: 25/06/2018 Melbourne, Victoria.

This Certificate of Currency is a summary only of the cover provided by this Policy, effective as at date of issue only. For a full description of cover, please refer to the Policy schedule and wording.

Signed for and on behalf of CGU Insurance Limited

Najibi Bisso
National Underwriting Manager

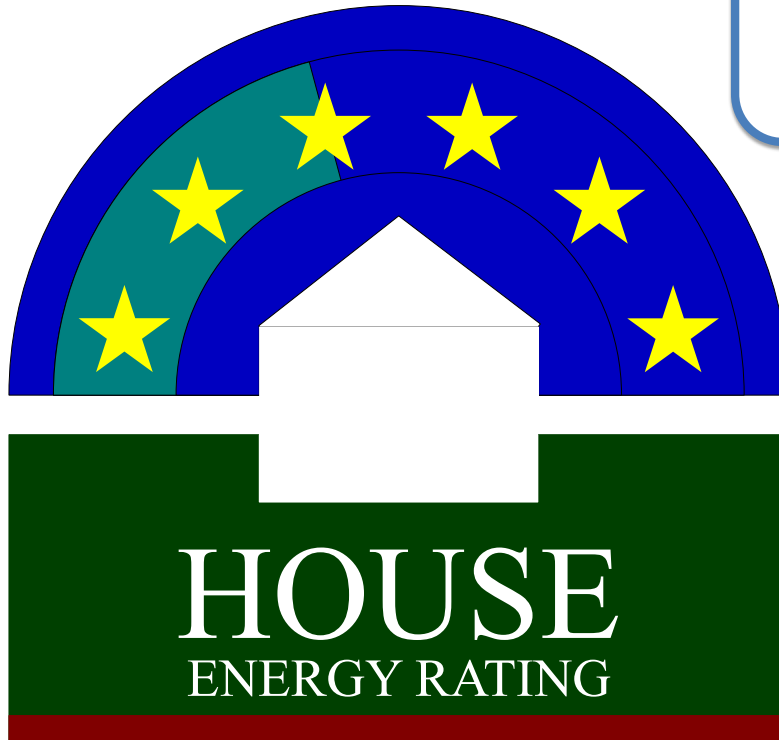
FirstRate Report

ACT HOUSE ENERGY RATING SCHEME

COLA Licence Number 201286



MACUSHLA SMITH
BUILDING ASSESSOR CLASS A
ENERGY EFFICIENCY



YOUR HOUSE ENERGY RATING IS: ★★☆☆
in Climate: 24

2.5 STARS

SCORE: -28 POINTS

Name: Stewart & Hanslow

Ref No: 3607889

House Title: GW 037 002 U 00 00 002.1rt

Date: 06-05-2019

Address: 2/7 Grounds Crescent

Greenway

2900

Reference: \\RAPID-NAS\\...\\3607889\\GW 037 002 U 00 00 002

This rating only applies to the floor plan, construction details, orientation and climate as submitted and included in the attached Rating Summary. Changes to any of these could affect the rating.

IMPROVING YOUR RATING

The table below shows the current rating of your house and its potential for improvement.

Star Rating	POOR			AVERAGE				GOOD				V. GOOD
	0 Star	★	★★	★★★	★★★★	★★★★★	★★★★★★	★★★★★★★	★★★★★★★★	★★★★★★★★★	★★★★★★★★★★	★★★★★★★★★★★
Point Score	-71	-70	-46	-45	-26	-25	-11	-10	4	5	16	17
Current	-28	<div></div>										
Potential	10	<div></div>										

Incorporating these design options will add the additional points required to achieve the potential rating shown in the table Each point represents about a 1% change in energy efficiency. This list is only a guide to the range of options that could be used.

Design options	Additional points	
Change ceiling insulation	R 4	3
Change curtain to	Heavy Drapes & Pelmets	35

Useful information

An Energy Efficiency Rating (EER) is required for form part of the contract of sale of a property/unit. The star rating of the EER must also be disclosed in all advertising material to satisfy the ACT Governments mandatory disclosure requirements.

All measurements are calculated using digital measuring tools and the approved plans supplied by Environment, Planning and Sustainable Development Directorate. The measurements and areas included in these reports are carefully compiled but should only be used as a guide.

Appliances installed and their energy consumption or effectiveness does not form part of the rating. This rating is a computer simulation of the thermal performance of the building fabric/materials and siting only.

The improvement options included in this rating already take into account the items that exist, for example – where recommendation for heavy drapes to the bitted is made, the windows currently covered by heavy drapes have already been included in the rating.

For further information please refer to <http://www.planning.act.gov.au>.

ORIENTATION

Orientation is one of the key factors which influences energy efficiency. This dwelling will achieve different scores and star ratings for different orientations.

Current Rating	-28	★ ★ ☆
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Largest windows in the dwelling;

Direction : ESE

Area : 11 m²

The table below shows the total score for the dwelling when these windows face the direction indicated.

Note that obstructions overshadowing windows have been removed from all windows in these ratings to allow better comparisons to be made between orientations.

ORIENTATION	POINT SCORE	STAR RATING
1. East	-24	★ ★ ★
2. South East	-27	★ ★ ☆
3. South	-26	★ ★ ☆
4. South West	-28	★ ★ ☆
5. West	-29	★ ★ ☆
6. North West	-30	★ ★ ☆
7. North	-23	★ ★ ★
8. North East	-24	★ ★ ★

FirstRate Mode
Climate: 24

RATING SUMMARY for: GW 037 002 U 00 00 002.1rt, 2/7 Grounds Crescent, Greenway

Assessor's Name: Macushla Smith

Net Conditioned Floor Area: 85.8 m²

Feature			Points		
			Winter	Summer	Total
CEILING			2	0	2
Surface Area:	0	Insulation:	2		
WALL			1	0	1
Surface Area:	-3	Insulation:	4	Mass:	0
FLOOR			13	0	13
Surface Area:	0	Insulation:	-1	Mass:	13
AIR LEAKAGE (Percentage of score shown for each element)			-1	0	-2
Fire Place	0 %	Vented Skylights	0 %		
Fixed Vents	0 %	Windows	17 %		
Exhaust Fans	32 %	Doors	26 %		
Down Lights	0 %	Gaps (around frames)	25 %		
DESIGN FEATURES			0	1	1
Cross Ventilation	1				
ROOF GLAZING			0	0	0
Winter Gain	0	Winter Loss	0		

WINDOWS							-37	-25	-63
Window Direction	Area		Point Scores						
	m2	%NCFA	Winter* Loss	Winter Gain	Summer Gain	Total			
NNE	6	7%	-17	19	-6	-4			
ESE	11	13%	-34	15	-10	-29			
SSW	7	8%	-17	5	-4	-15			
WNW	6	7%	-19	10	-6	-15			
Total	30	35%	-86	49	-25	-63			

* Air movement over glazing can significantly increase winter heat losses. SEAV recommends heating/cooling duct outlets be positioned to avoid air movement across glass or use deflectors to direct air away from glass.

The contribution of heavyweight materials to the window score is -2 points

			Winter	Summer	Total
RATING	★ ★ ☆	SCORE	-23	-24	-28*

* includes 19 points from Area Adjustment

Detailed House Data

House Details

ClientName	Stewart & Hanslow
HouseTitle	GW 037 002 U 00 00 002.1rt
StreetAddress	2/7 Grounds Crescent
Suburb	Greenway
Postcode	2900
AssessorName	Macushla Smith
FileCreated	06-05-2019

Climate Details

State	
Town	Canberra
Postcode	2600
Zone	24

Floor Details

ID	Construction	Sub Floor	Upper	Shared	Foil	Carpet	Ins RValue	Area
1	Concrete Slab on ground	No Subfloor	No	No	No	Carp	R0.0	85.0m ²
2	Concrete Slab on ground	No Subfloor	No	No	No	Float Timb	R0.0	11.0m ²

Wall Details

ID	Construction	Shared	Ins RValue	Length	Height
1	Brick Veneer	No	R1.5	38.0m	2.4m
2	Brick Veneer	No	R2.0	3.0m	2.4m

Ceiling Details

ID	Construction	Shared	Foil	Ins RValue	Area
1	Attic - Standard	No	No	R3.0	96.0m ²

Window Details

ID	Dir	Height	Width	Utility	Glass	Frame	Curtain	Blind	Fixed & Adj Eave	Fixed Eave	Head to Eave
1	WNW	2.1m	2.0m	No	SG	ALSTD	VB	No	1.5m	1.5m	0.2m
2	WNW	2.1m	0.9m	No	SG	ALSTD	VB	No	0.0m	0.0m	0.0m
3	SSW	2.1m	1.2m	No	SG	ALSTD	VB	No	0.5m	0.5m	0.2m
4	SSW	2.1m	1.2m	No	SG	ALSTD	VB	No	0.5m	0.5m	0.2m
5	SSW	0.9m	0.6m	Yes	SG	ALSTD	NC	No	0.5m	0.5m	0.2m
6	SSW	0.9m	0.6m	Yes	SG	ALSTD	NC	No	0.0m	0.0m	0.0m
7	SSW	1.0m	0.6m	Yes	SG	ALSTD	NC	No	0.0m	0.0m	0.0m
8	ESE	2.1m	2.7m	No	SG	ALSTD	VB	No	0.0m	0.0m	0.0m
9	ESE	2.1m	1.8m	No	SG	ALSTD	VB	No	0.0m	0.0m	0.0m
10	ESE	2.1m	0.9m	No	SG	ALSTD	VB	No	0.0m	0.0m	0.0m
11	NNE	2.1m	1.8m	No	SG	ALSTD	VB	No	0.0m	0.0m	0.0m
12	NNE	2.1m	0.9m	No	SG	ALSTD	VB	No	0.0m	0.0m	0.0m

Window Shading Details

ID	Dir	Height	Width	Obst Height	Obst Dist	Obst Width	Obst Offset	LShape Left Fin	LShape Left Off	LShape Right Fin	LShape Right Off
1	WNW	2.1m	2.0m	0.0m	0.0m	0.0m	0.0m	1.5m	0.0m	0.0m	0.0m
9	ESE	2.1m	1.8m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.6m	0.0m
10	ESE	2.1m	0.9m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.6m	2.0m

Zoning Details

Is there Cross Flow Ventilation ?	Good
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Air Leakage Details

Location	Suburban
Is there More than One Storey ?	No
Is the Entry open to the Living Area ?	Yes
Is the Entry Door Weather Stripped ?	Yes
Area of Heavyweight Mass	0m ²
Area of Lightweight Mass	0m ²

	<u>Sealed</u>	<u>UnSealed</u>
Chimneys	0	0
Vents	0	0
Fans	1	1
Downlights	0	0
Skylights	0	0
Utility Doors	0	3
External Doors	1	0

Unflued Gas Heaters	0
Percentage of Windows Sealed	100%
Windows - Average Gap	Small
External Doors - Average Gap	Small
Gaps & Cracks Sealed	No



Building Conveyancing Enquiries and Energy Rating Package Application - receipt

Your submission has been successful. Please keep a copy of this receipt for your records. This transaction will appear on your statement as ACCESS CBR INTERNET CANBERRA

Date and time	Reference code	Payment receipt number	Total amount paid	
29 Apr 2019 12:52:56 PM	P3TTF4	2419841556	\$	119.00

Access Canberra
ABN 68 367 113 536

GPO Box 1908
Canberra ACT 2601

Phone: (02) 6207 1923

Request type

Select a request type *

Residential conveyancing enquiry

Our aim is to provide a 4 to 5 full working day turnaround period for a standard service. The turnaround time commences from receipt of the request at Mitchell and does not include weekends, public holidays.

For high priority requests an additional surcharge is applied and the turnaround period is 24 hours with the same conditions specified above.

What is the priority of this request? *

☒ Standard ☐ High

Contact details

Applicant details

Title	Given name *	Family name *
	Actnow	Rapid Reports
Email *	Phone *	
info@rapidreportsact.com.au	0262910550	

Property information

Address line 1 *

BRIDGEWATER UNIT 2 7 GROUNDS CRESCENT

Address line 2

Suburb *	State *	Postcode *	
GREENWAY	ACT	2900	
Suburb *	Section *	Block *	Unit
GREENWAY	37	2	2

Lessee *

Applicant's reference

Hanslow

3607889

Additional information

Units plan number: 1243

Is the property an ex Government residence? *

☐

Yes

☒

No

☐

Unknown

Do you want to include a Sanitary Drainage Plan? (Additional fees apply) *

☒

Yes

☐

No

Applicant declaration

As the applicant lodging this request, you are declaring: *

☐

I am the lessee/owner.

☐

I am the solicitor acting on behalf of the lessee/owner.

☒

I have authorisation from the lessee/owner.

☐

I am/act for a mortgagee in possession.

☐

I have authorisation from the solicitor representing the lessee/owner.

☐

I have authorisation from the Trustee of the deceased estate.

☐

I have authorisation for power of attorney from the lessee/owner.

Please Note:

1. Documentation confirming that you have the lessee/owner's permission is required in all instances.
2. The applicant must comply with one of the above declarations to protect any personal information relating to the lessee/owner of this lease under the provisions of the Privacy Act 1988.
3. It is an offence to make a false or misleading statement, give false or misleading information or produce a false or misleading document (see Criminal Code, pt 3.4).

Letter of authority *

ACTNOW Rapid Reports Booking Authority 2018.pdf

Payment amount

\$

119.00

CONVEYANCING BUILDING FILE INDEX

SUBURB: Greenway

SECTION: 37

BLOCK: 2

UNIT: 2

EX GOV:	No
---------	----

[illegible]

Drainage Plan Number: 82730

Comments:

CONVEYANCING PART 2

No information is provided in respect of electrical, drainage or sewer matters and or to the location of overhead power lines or underground cables in relation to the building.

- | | <u>Yes</u> | <u>No</u> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|
| 1. (a) Is this a government or ex government house? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| (b) If yes, is there a building file with approvals on it? | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Is there any record of incomplete building work on the building file?
If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are there any records on the building file of current (within 5 years) housing Indemnity insurance policies for building work? If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Are there any records on the building file showing building applications still being processed? (Current within 3 years) If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Are there any records on the building file in relation to loose-fill asbestos insulation? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If available, copies of the following documents are provided:

- | | | |
|--------------------------------------------------------|-------------------------------------|-------------------------------------|
| • Certificate/s of Occupancy and Use | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Survey Certificates | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Approved Building Plans | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Ex- government Building Plans | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| • Certificate of Completion of Asbestos Removal work** | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

** If YES – this indicates that the property was part of the Loose Asbestos Insulation Program.
For more information go to the Asbestos Awareness Website – www.asbestos.act.gov.au

If requested:

- | | | |
|--------------------|-------------------------------------|--------------------------|
| • Drainage Plan(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------|-------------------------------------|--------------------------|

ASBESTOS

**The ACT Government is not able to guarantee the accuracy of the information in this report.

You should make your own enquiries and obtain reports (from a licensed Asbestos Assessor) in relation to the presence of loose fill asbestos insulation (and other forms of asbestos) on the premises. For more information go to the Asbestos Awareness Website – www.asbestos.act.gov.au

Please Note: Building approvals that have been generated via eDevelopment will be issued with a project number prefixed by the letter B. Initial building approval documentation will be identified with project number B20XXXXX only but will be referenced as B20XXXX/A on the Certificate of Occupancy and Use. Any amendments to the original approval will be issued with the project number and an alphanumeric digit. The first amendment will be identified as B20XXXX/B, the second amendment B20XXXX/C etc. Not all eDevelopment plans will be stamped with the plan number.

Search officer comments (if any?)

Search officer initials: Tony

Cost of application: \$ 119.00

Date completed:

02/05/2019

REAL PROPERTY (UNIT TITLES) ACT 1970

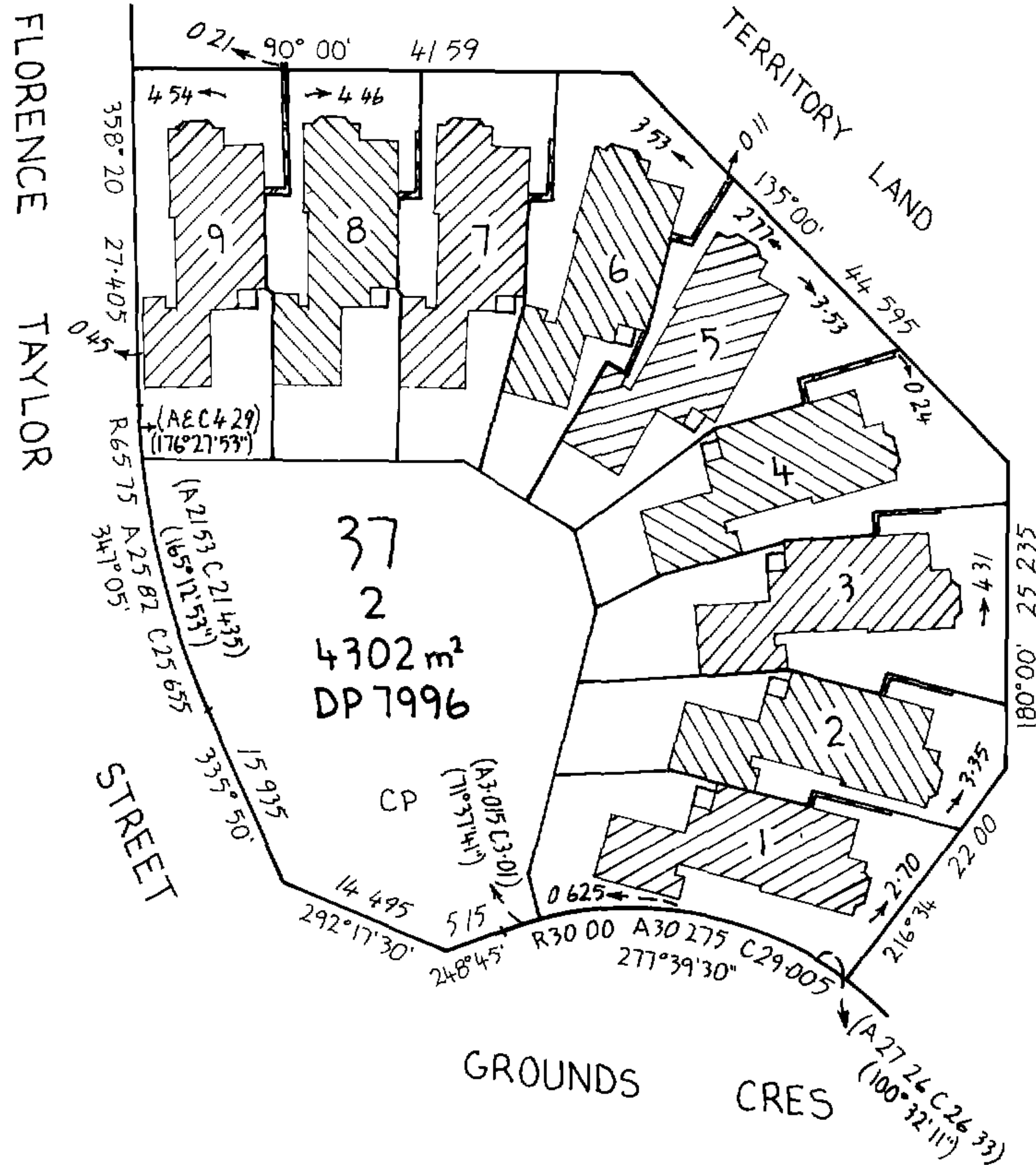
UNITS PLAN No. 1243

BLOCK 2

SECTION 37

DIVISION OF GREENWAY

SITE PLAN



NOTE: UNITS 1 TO 9 CONTAIN
SINGLE STOREY BRICK BLDGS

CP = COMMON PROPERTY

— DENOTES BRICK WALL

SCALE

(1) 0 5 10 20 30 METRES
1:600

Registered Surveyor

SIGNED BY THE SAID MILIN BROS P/L
BY ITS ATTORNEY PETER MILIN
WHO STATES THAT HE HAS NO
NOTICE OF REVOCATION OF POWER
OF ATTORNEY NO. 65326 IN THE
PRESENCE OF:

Applicant

Solicitor

STUART COLLIER
Delegate of the Chief Minister

XJP 15314

SIGNED BY THE SAID DRAZENKA TURUDIC
BY HER ATTORNEY BOZO TURUDIC WHO
STATES THAT HE HAS NO NOTICE OF
REVOCATION OF POWER OF ATTORNEY
NO. 69599 IN THE PRESENCE OF:

(1) Graphic
Bar Scale

UNITS PLAN No. 1243

DISTRICT/DIVISION TUGGERANONG / GREENWAY SECTION 37 BLOCK 2

Signed by the said Orangeburg, Florida
by her/us Attorney Boz Jenkins
who states that he has no notice of revocation
of Power of Attorney 69599 ~~_____~~ Solvent
Registered No. 69599 in the presence

1000.

Signed by the said Mildred E. Hester
by his/her/its Attorney R. Lee Miller
who states that he has no notice of revocation
of Power of Attorney
Registered No. 63326 in the presence
of: _____

The Certificate of Title issued for each of the units into which the parcel of land has been subdivided is as shown in Column 2 above. The Certificate of Title for the common property is:

Register Book Volume 1444 Folio 80

Column 1 above is the schedule of unit entitlement approved for the subdivision.

Dated this twentieth
day of December 19 14.

Edna Mollo.

STUART COLLINS

Delegate of the Minister

P. A. ROWE
DEPUTY REGISTRAR-GENERAL



Registrar of Titles

UNITS PLAN No 1243

1. LAND

DISTRICT/DIVISION	SECTION	BLOCK
TUGGERANONG / GREENWAY	37	2

2. FLOOR NUMBER - GROUND FLOOR

3. FLOOR PLAN (Please indicate class of Units ie. Class "A" or Class "B")

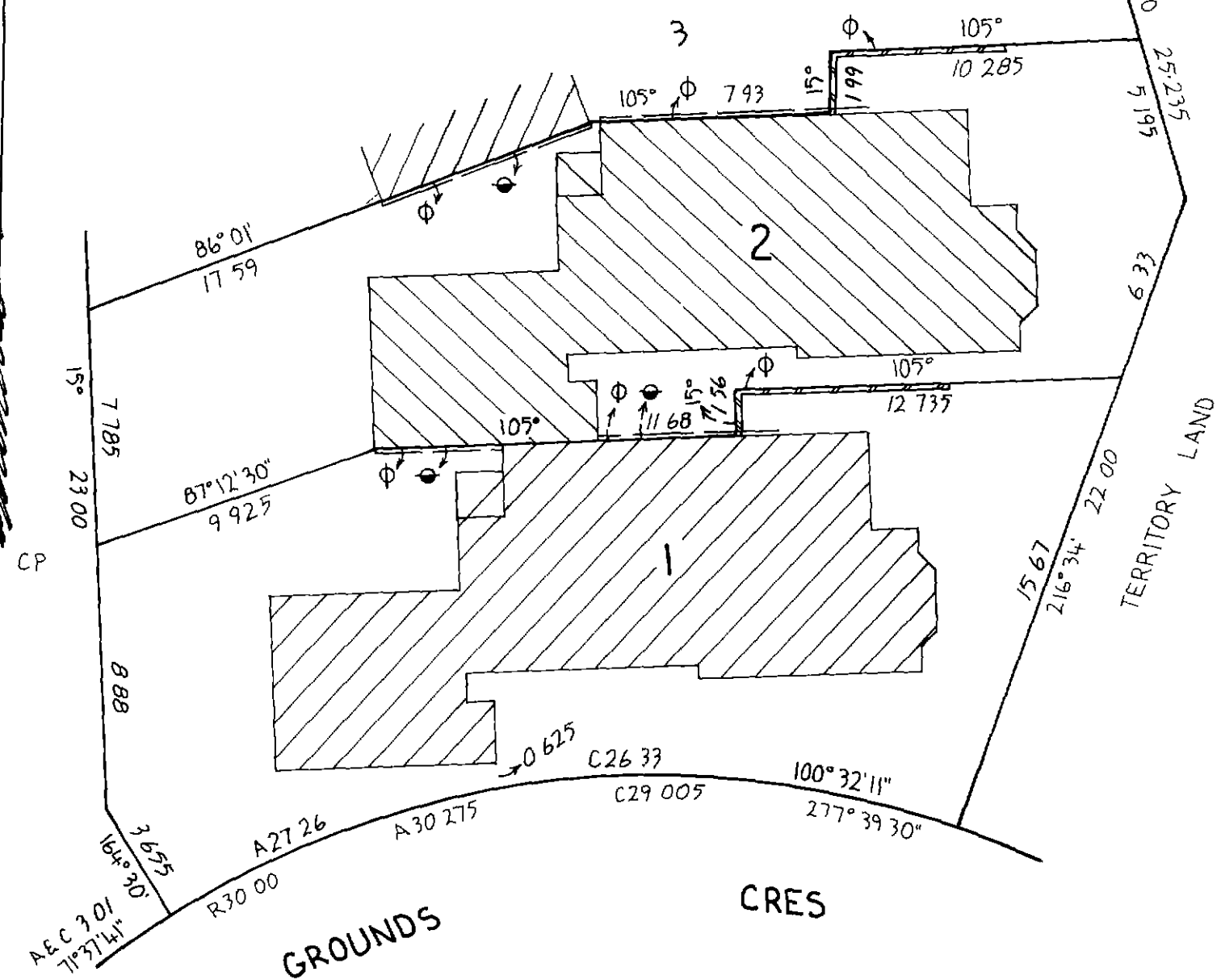
CLASS 'B' UNITS

⊙ DENOTES GUTTER OVERHANG
UNITS ARE PARTLY
LIMITED IN HEIGHT TO THE
UNDERSIDE OF THE GUTTERS
OF THE ADJOINING STRUCTURES

Φ DENOTES FACE OF BRICK WALL ON BDY

— DENOTES BRICK WALL

ADJOINS SHEET 5



NOTE UNITS 1 & 2 CONTAIN
SINGLE STOREY BRICK BLDGS

CP = COMMON PROPERTY

SCALE: 0 2.5 5 10 METRES
(GRAPHIC BAR) 1:200

3. EXECUTION

SIGNED BY THE SAID MILIN BROS P/L
BY ITS ATTORNEY PETER MILIN WHO
STATES THAT HE HAS NO NOTICE
OF REVOCATION OF POWER OF
ATTORNEY NO. 65326 IN THE
PRESENCE OF:

Applicant

Schmidt Jolliffe

810453 211 445

Delegate of the Minister

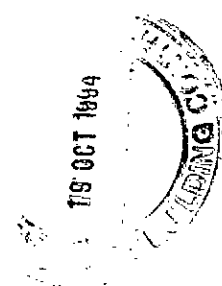
Surveyor's Certificate

85043/01 Fri 8/10/94

John W. Foxlee (B. Surv.) M.I.S. (Aust.)
Registered Surveyor

42 Yiman Street,
Waramanga, A.C.T. 2611
P.O. Box 3472
Manuka, A.C.T. 2603
Telephone: 288 1257
Mobile: 018 625806
Fax: (06) 287 1224

Block: 2 Section: 37 Division: GREENWAY Title:



The Manager,
Turudic Homes,
20 Bean Street,
McKELLAR, A.C.T. 2617.

Dear Sir,

I certify having surveyed the land being Block 2, Section 37, Division of GREENWAY in the Tuggeranong District of the Australian Capital Territory, as delineated in Deposited Plan No. 7996 lodged at the office of the Registrar of Titles, Canberra City. The block has an area of 4302 square metres or thereabouts and has frontages to Grounds Crescent and Florence Taylor Street.

Upon this land stand several brick townhouse residences in the course of erection. The position of this brickwork in relation to the boundaries of the land is shown on the sketch plan attached.

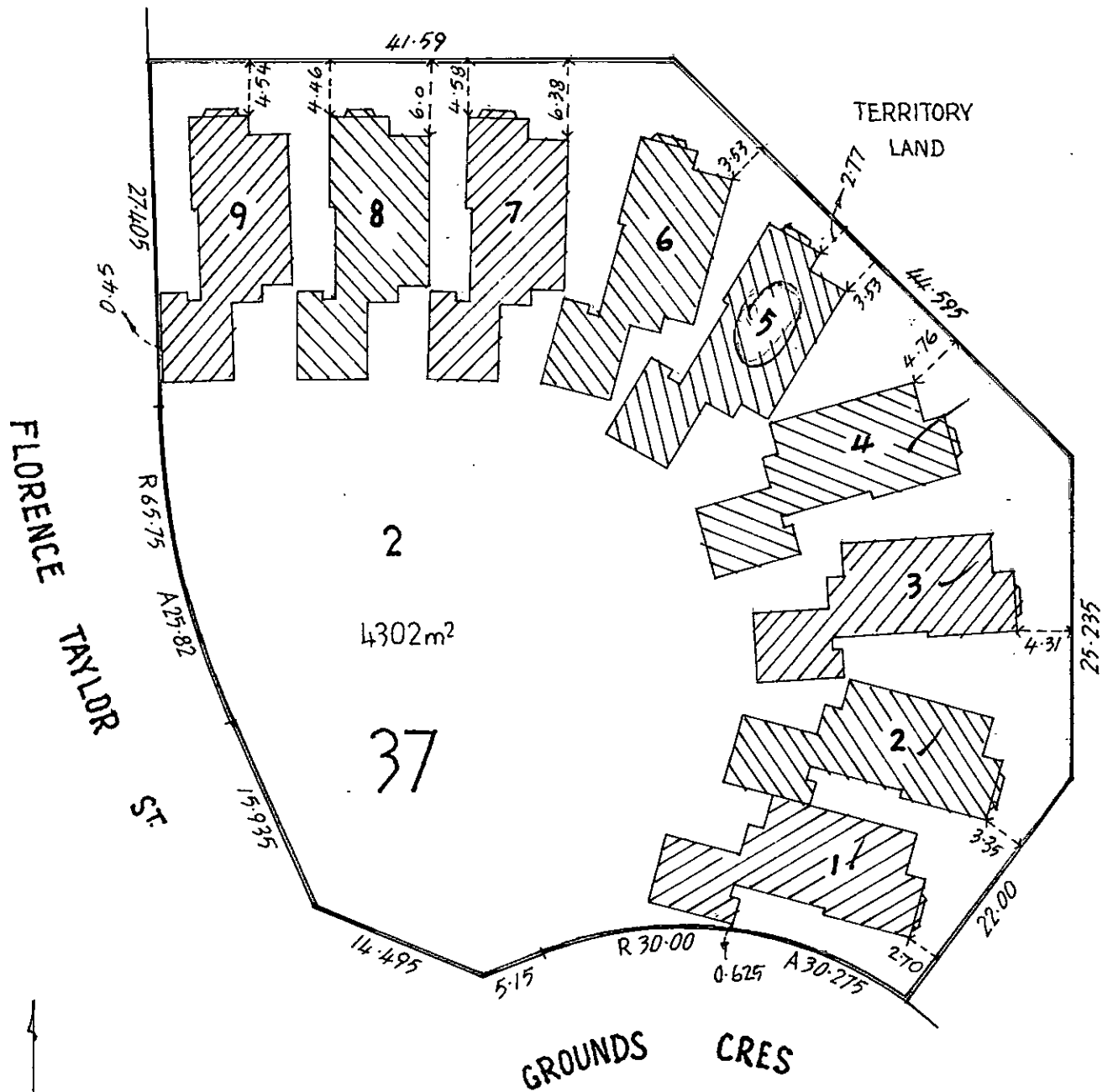
The brickwork is contained wholly within the boundaries of the land.

Yours faithfully,

John Foxlee.
REGISTERED SURVEYOR.

BLOCK 2 SECTION 37 GREENWAY.

14



SCALE 1:500

DP 7996

[Signature]
27.9.94.



Department of Urban Services

ACT Building Control

GPO Box 158, Canberra ACT 2601

29.

Certificate of Occupancy or Use

Persuant to Part V of the Building Act 1972, the building consisting of a
NEW TOWNHOUSE UNIT 2

situated at

Division:

Section:

Block:

Unit:

Greenway

37

2

2

is considered to be substantially in accordance with the prescribed
requirements for occupancy or use, subject to the endorsements listed below:

Approved plan id's included in this certificate:

A C

Project Number: 23628

Type of construction:

TRIMS Number: 85043

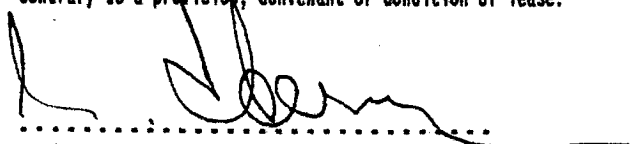
Classes of occupancy: 01 10

Name of Permit Holder: MR B TURUDIC

Fit for occupancy or use pursuant S 53[3]

Endorsements:

The issue of this Certificate does not affect the liability of a person to comply with the provisions of a law of the Territory (including the Building Act) relating to the building work nor does it authorise the user of the land contrary to a provision, covenant or condition of lease.


.....
Deputy Building Controller

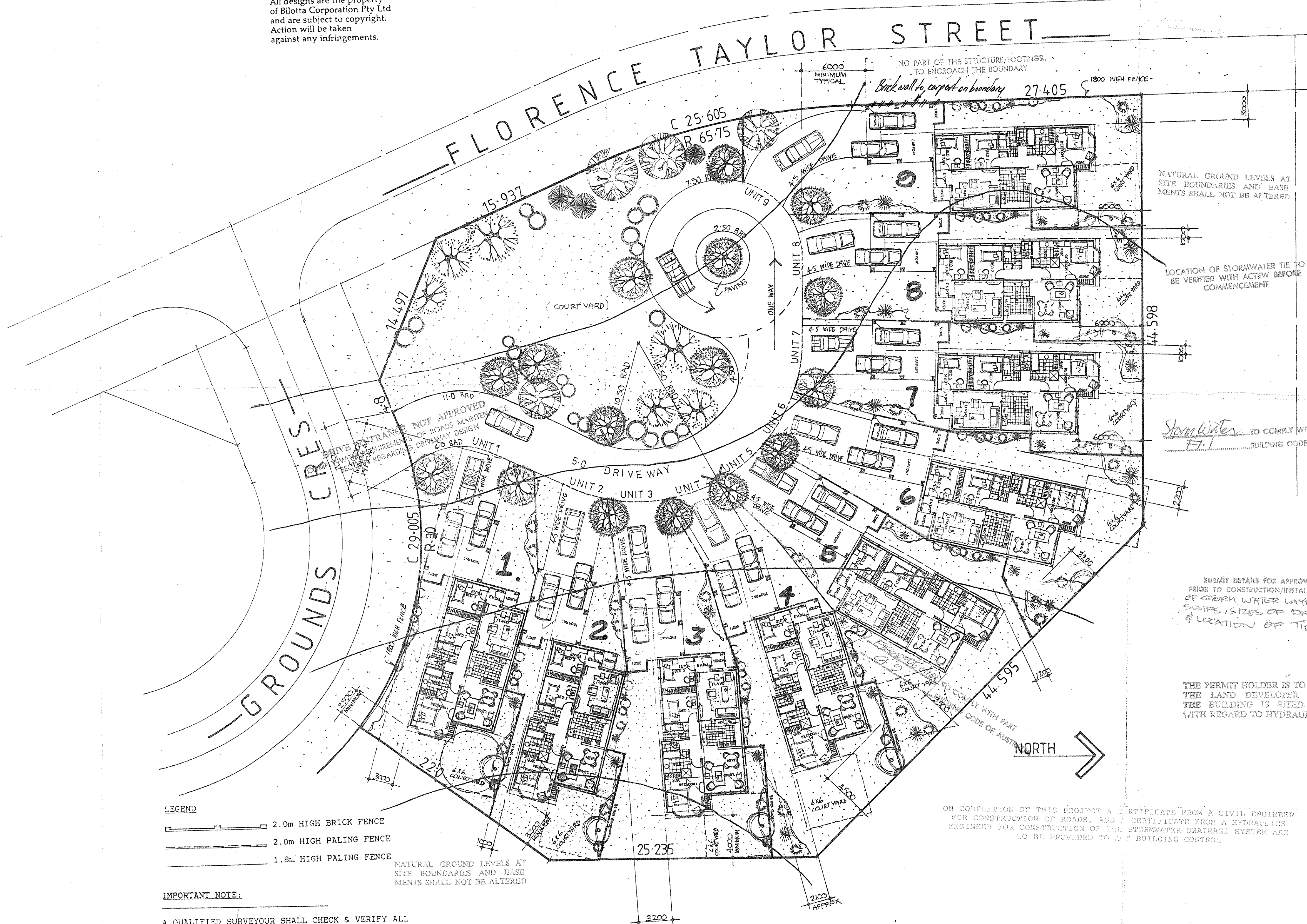
5 - DEC 1994
...../...../.....
Date

NEW WORK -
 NEW BUILDING PERMIT
 REQUIRED

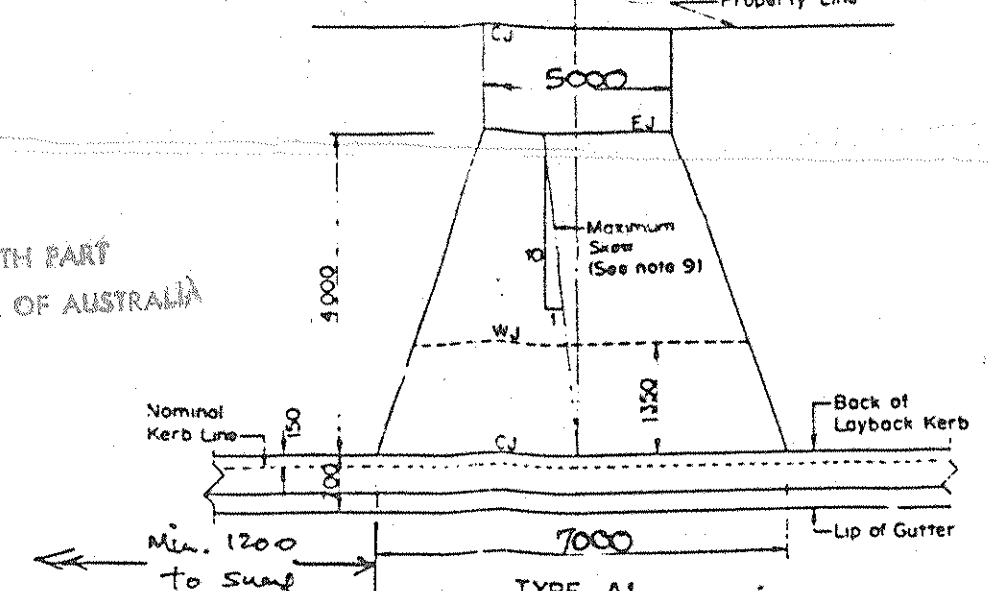
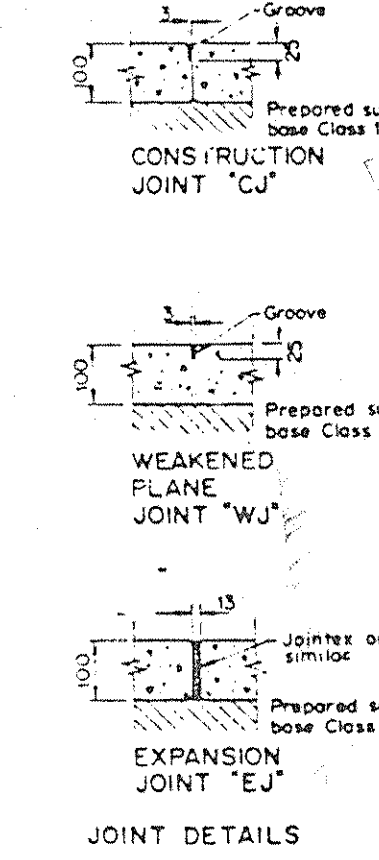
S1/2

CANBERRA SEWERAGE & WATER SUPPLY REGULATIONS
 THIS PLAN INCLUDES WORK SUBJECT TO THE ABOVE
 REGULATIONS WHICH MUST BE CARRIED OUT BY A
 LICENSED PLUMBER/DRAINER

©Copyright 1990.
 All designs are the property
 of Bilotta Corporation Pty Ltd
 and are subject to copyright.
 Action will be taken
 against any infringements.



- NOTES:
1. All concrete shall be grade 20 (f_y = 20MPa) Aggregate size to be 20 maximum.
 2. Residential driveways shall be un-reinforced concrete of 100 minimum thickness.
 3. All new driveways shall be constructed on granular sub-base of 75 minimum thickness and compacted to 100% of finished maximum dry density (MDD). Subgrades shall be compacted to 95% MDD.
 4. Expansion joints (EJ) shall be located 4000 from vehicular crossings or layback kerbs and at 15 000 elsewhere.
 5. Weakened plane joints (WJ) shall be located at 1000 centres on 400 wide strips and at 2 000 to 2 500 centres elsewhere.
 6. Construction joints (CJ) to be provided against all existing concrete paving except where EJ is specified.
 7. Existing footpaths of less than 100 thickness across proposed driveways are to be removed and replaced with standard driveway section.
 8. Driveways to be located in accordance with site plans or to suit existing vehicular crossing and/or internal driveway. Refer to the Superintendent where there is a conflict between these requirements.
 9. Driveways to be constructed normal to kerb line where ever possible, where necessary, a maximum skew of 1:10 is permissible.
 10. Broomed finish to be applied to all concrete surfaces.
 11. All concrete to be cured continuously for 3 days after placing.
 12. Driveways not to be constructed closer than 1200 to any engineering service such as suns and light poles.
 13. Where conditions are such that specified design limits cannot be met, then appropriate engineering advice should be sought.



SUBMIT DETAILS FOR APPROVAL
 PRIOR TO CONSTRUCTION/INSTALLATION
 OF STORM WATER LAYOUTS SHOWING
 SIZES OF DRAIN UNITS ALL DIMENSIONS ON SITE
 & LOCATION OF TIE CONNECTION
 TO COMPLY WITH PART 3
 BUILDING CODE OF AUSTRALIA

THE PERMIT HOLDER IS TO LIAISE WITH
 THE LAND DEVELOPER TO ENSURE
 THE BUILDING IS SITED CORRECTLY
 WITH REGARD TO HYDRAULIC SERVICES

ON COMPLETION OF THIS PROJECT A CERTIFICATE FROM A CIVIL ENGINEER
 FOR CONSTRUCTION OF ROADS, AND A CERTIFICATE FROM A HYDRAULICS
 ENGINEER FOR CONSTRUCTION OF THE STORMWATER DRAINAGE SYSTEM ARE
 TO BE PROVIDED TO ACT BUILDING CONTROL

- LEGEND
- 2.0m HIGH BRICK FENCE
 - 2.0m HIGH PALING FENCE
 - 1.8m HIGH PALING FENCE

IMPORTANT NOTE:

A QUALIFIED SURVEYOR SHALL CHECK & VERIFY ALL
 DIMENSIONS & POSITION ALL UNITS & UNIT BOUNDARIES
 BEFORE ANY WORK CAN COMMENCE.

ALL SCREEN FENCING TO SERVICE COURT AREAS SHALL
 BE A MINIMUM OF 2.0 METRES HIGH AS SHOWN ON PLANS.

A QUALIFIED SURVEYOR SHALL PROVIDE A SITE PLAN TO
 DEMONSTRATE ALL SERVICE EASEMENTS IN RELATION TO
 SUBDIVISIONAL BOUNDARIES & LOCATION OF RESIDENCES.

* LANDSCAPE DESIGN BY OTHERS (EXAMPLE ONLY)

UNIT 1-9
 BLOCK NO. 2 SECTION 37
 GREENWAY WEST

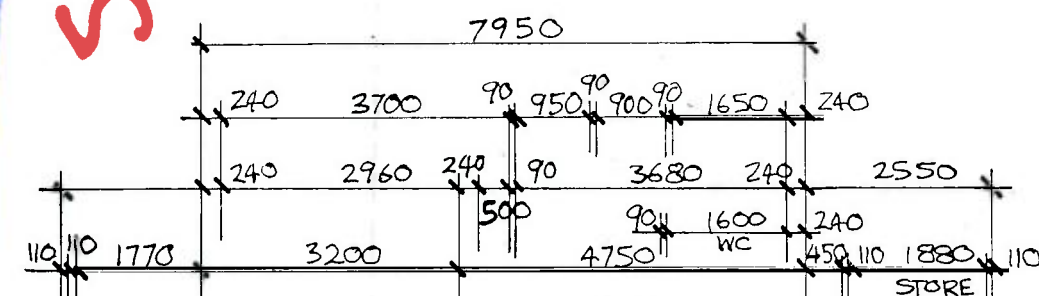
BUILDER:
 SHORELINE PTY LTD
 16 GOLDSBOROUGH CLOSE
 MACARTHUR

3
 Bella
 DESIGN
 Bilotta Corporation Pty Ltd
 Phone: (03) 764 5398 Fax: (03) 764 5224

24 JUN 1993
 ACT PLANNING
 AUTHORITY
 24 JUN 1993
 APPROVAL GRANTED
 PURSUANT TO SECTION 6
 BUILDING (DESIGN & SITING)
 ACT 1984 (AS AMENDED)
 APPROVAL GRANTED
 PURSUANT TO SECTION 6
 24 JUN 1993
 AUSTRALIAN CAPITAL TERRITORY
 PLANNING AUTHORITY

$$\frac{1}{5}$$

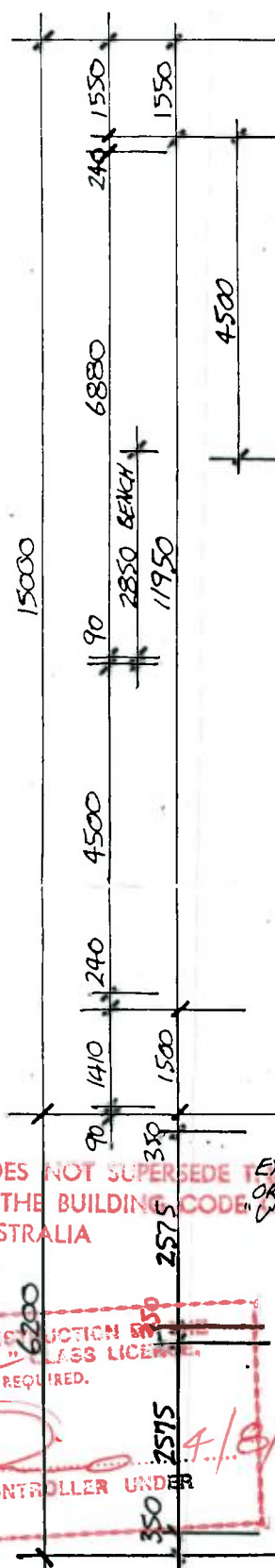
ELEVATION B



RIDGE
 & WINDOW

2100 x 2700 | d/a BAY WINDOW

BAY WINDOW BRICK WORK

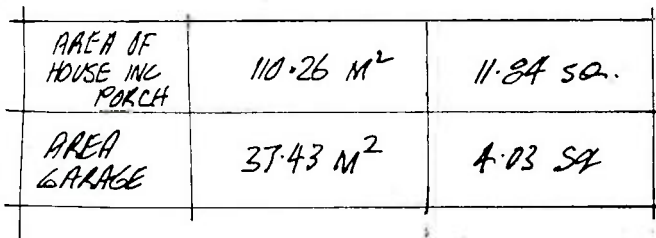


ELEVATION B

EX 2/100X100 FT CARVED
OREGON POSTS ON GALVANISED
"U" SHAPED BRACKETS

DEPUTY BUILDING CONTROLLER UNDER
BUILDING ACT 1972.

2575 4/8/93

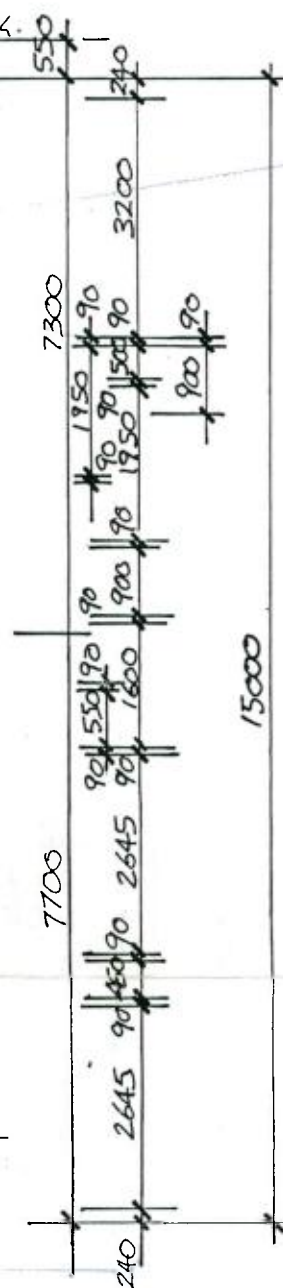


double
garage

double
garage

250X75 F4 OREGON AS
PER ENGINEERS DESIGN

ELEVATION A



**BUILDINGS (DESIGN & SITING)
ACT 1964 (AS AMENDED)
APPROVAL GRANTED
PURSUANT TO SECTION 6**

JUL 1993

AUSTRALIAN CAPITAL TERRITORY
PLANNING AUTHORITY

APPROVED

24 JUN 1993

LEASE MANAGEMENT
SECTION

UNIT 1-4 2

BLOCK N° 2 SECTION 37



ACT GOVERNMENT

DEPARTMENT OF THE ENVIRONMENT LAND AND PLANNING

JOHN OVERALL OFFICES 220 NORTHBOURNE AVE BRADDON ACT 2601

GPO BOX 1908 CANBERRA ACT 2601

*Creating a Quality Canberra
Today and Tomorrow!*

ACT PLANNING AUTHORITY

SP 22178

C R Fraser

Milin Bros & B & D Turudic
20 Bean Cres
Mckellar
Canberra ACT 2617

**NOTICE OF AMENDMENT TO AN APPROVAL -
SECTION 247 (3) OF THE LAND (PLANNING AND ENVIRONMENT) ACT
1991**

BLOCK 2 SECTION 37 GREENWAY - UNITS 1-9

Your application dated 4 November 1994, to amend the approval of the plans and elevations to the above block has been considered by the ACT Planning Authority. An application to amend approval is required under Section 247 (1) of the Land (Planning and Environment) Act 1991.

I Clive Fraser, a person to whom the ACT Planning Authority has delegated the power to amend an approval in respect of external design and siting, hereby amend the approval and the amended endorsed plans are attached.

Yours faithfully

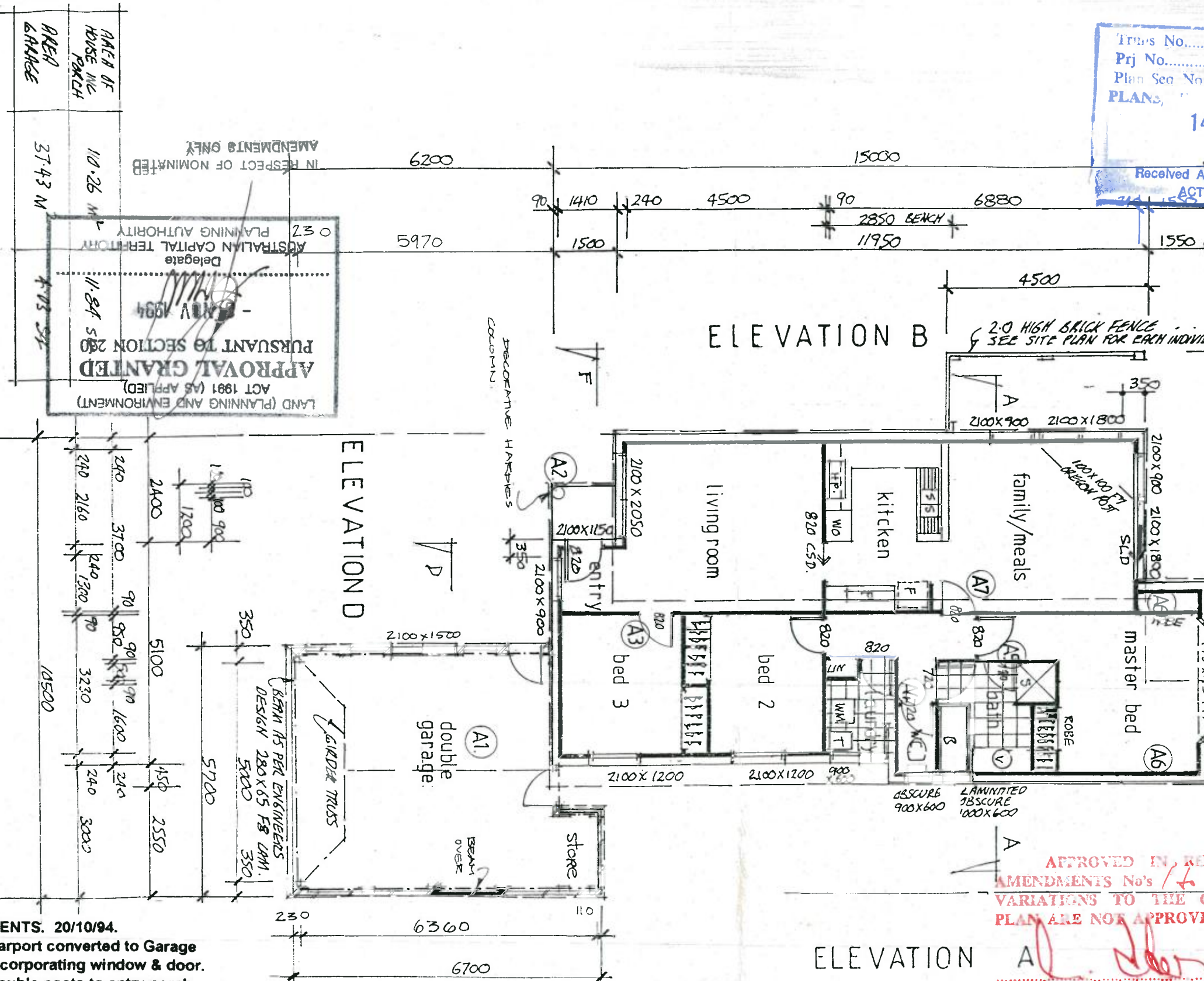
CLIVE FRASER
ACT PLANNING AUTHORITY

8 November 1994

cc: The Building Controller

NOTE: SUBMIT STRUCTURAL DETAILS
FROM AN ENGINEER. PER
ALL ITEMS DESCRIBED
(BANK FORM - DESIGN
CHECK ATTACHED)

Trms No. 85043/C
Prj No. 23628/C
Plan Seq No. 42271
PLANS
14 NOV 1994
Received ACT Building Control
ACT Government



APPROVED IN RESPECT OF NO. 1/4
AMENDMENTS No's 1/4
VARIATIONS TO THE ORIGINALLY APPROVED
PLAN ARE NOT APPROVED.

DEPUTY BUILDING CONTROLLER UNDER
BUILDING ACT 1972

Received ACT Building Control
ACT Government
14 NOV 1994
PLANS/FILE No.
Plan Seq No.
Trms No. 85043/C

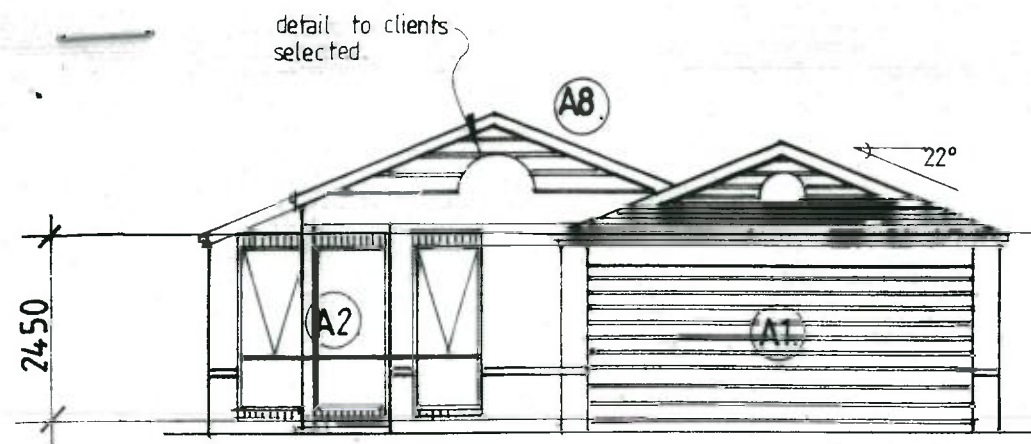
AMENDMENTS. 20/10/94.

- A1. Carport converted to Garage incorporating window & door.
- A2. Double posts to entry porch replaced by Hardies column.
- A3. Position of door to bed 3 altered.
- A4. Direction of swing of door to WC altered.
- A5. Cavity sliding door to Bath replaced by swing door.
- A6. Beams deleted.
- A7. Door added.
- A8. Facade detail altered.
- A9. Dutch gable replaced by gable over Family, Master bed.

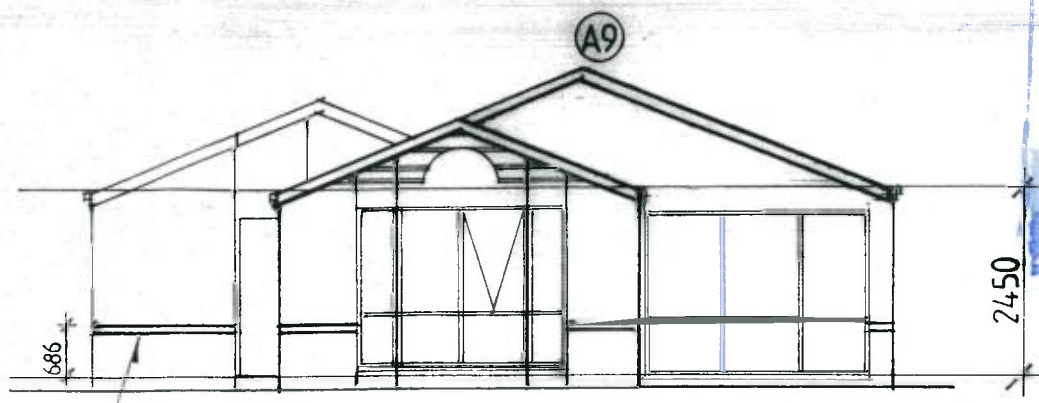
BLOCK No 2 SECTION 37

UNIT 1-4

1/5
16 NOV 1994

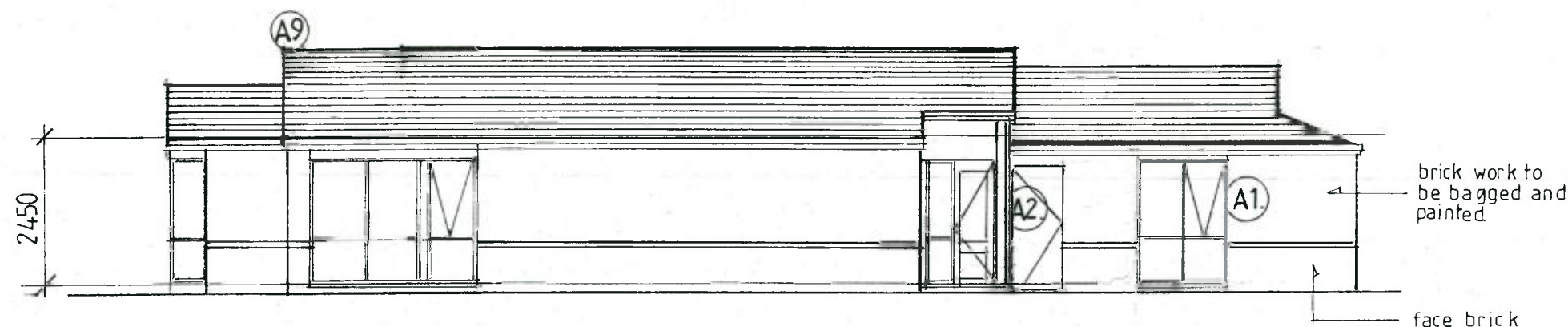


ELEVATION D.

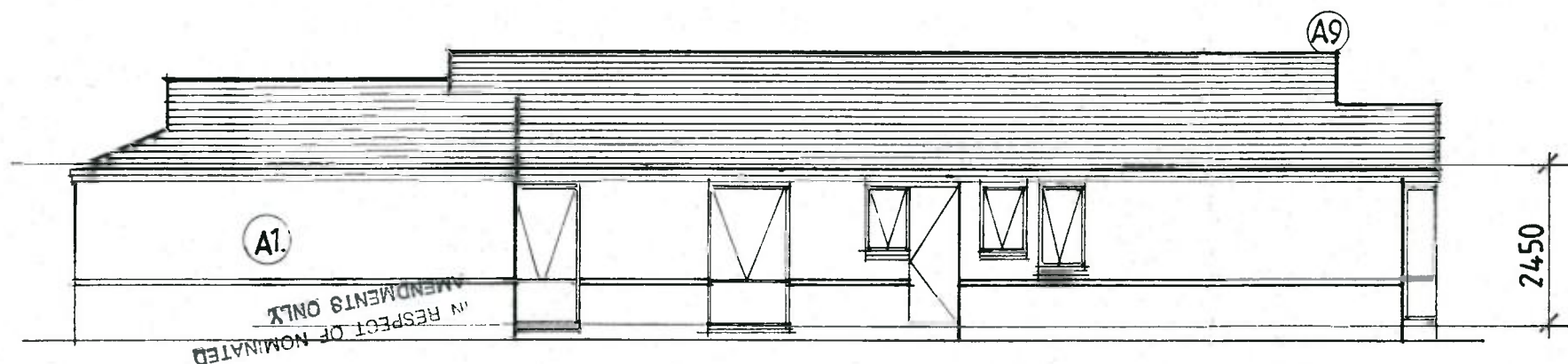


ELEVATION E.

Trims No. 83 043 10
 Prj No.
 Plan Seq No.
 PLANS/FILE No.
 14 NOV 1994
 Received ACT Building Control
 ACT Government



ELEVATION B.

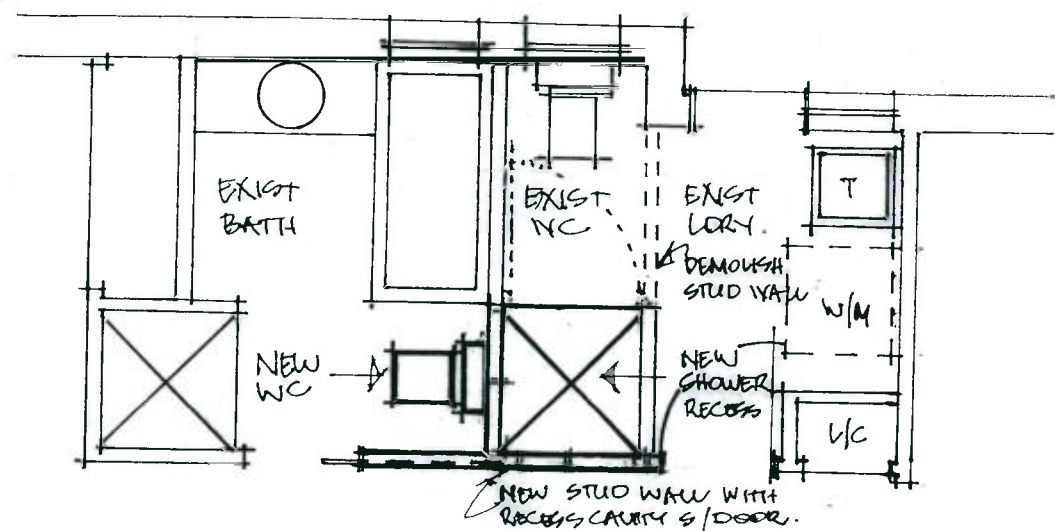


ELEVATION A.

UNIT 1-4

LAND (PLANNING AND ENVIRONMENT)
 ACT 1991 (AS APPLIED)
APPROVAL GRANTED
 PURSUANT TO SECTION 230
 - 8 NOV 1994
 Delegate
 AUSTRALIAN CAPITAL TERRITORY
 PLANNING AUTHORITY

35



BUILDING WORK
 REMOVE DOOR AND WALL TO EXIST WC
 REMOVE PART WALL BETWEEN LAUNDRY
 AND WC.
 CONSTRUCT NEW STUD WALLS AND INSTALL
 CAVITY SLIDING DOOR TO ENCLOSE NEW
 SHOWER RECESS.
 WATERPROOF NEW SHOWER RECESS
 INSTALL PLUMBING AND DRAINAGE TO
 NEW WC AND SHOWER TO DEPT
 REQUIREMENTS.
 TILE SHOWER RECESS TO CLIENTS
 REQUIREMENTS.
 PAINT ALL NEW WORK TO BLEND
 WITH EXISTING.

PLAN

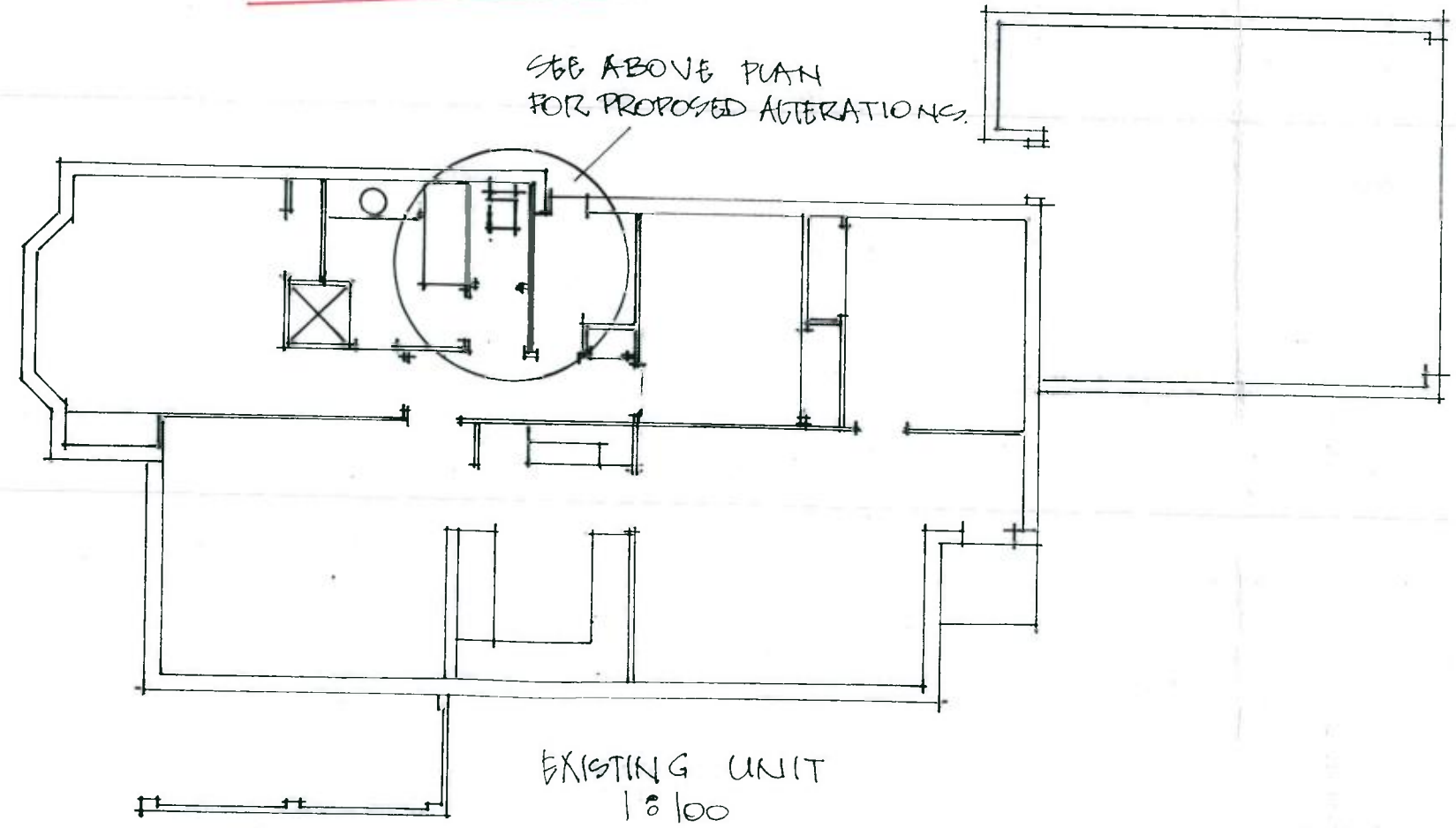
INTERNAL ALTERATIONS - NON STRUCTURAL ONLY

Exempt Work
 Pursuant to Section 6 of
 the ACT Building Act 1972.

11/9/98

PLUMBING & ELECTRICAL CLEARANCE REQUIRED

SEE ABOVE PLAN
 FOR PROPOSED ALTERATIONS.



EXISTING UNIT
 1:100

AMENDMENTS



62869411
 TELEPHONE
 CONSTRUCTION MANAGEMENT • DESIGN & CONSTRUCTION
 BUILDING & CONTRACTING • PROJECT MANAGEMENT

PROPOSED BATHROOM
 ALTERATIONS for
 J. E. W. BOOTH

PLAN ONLY

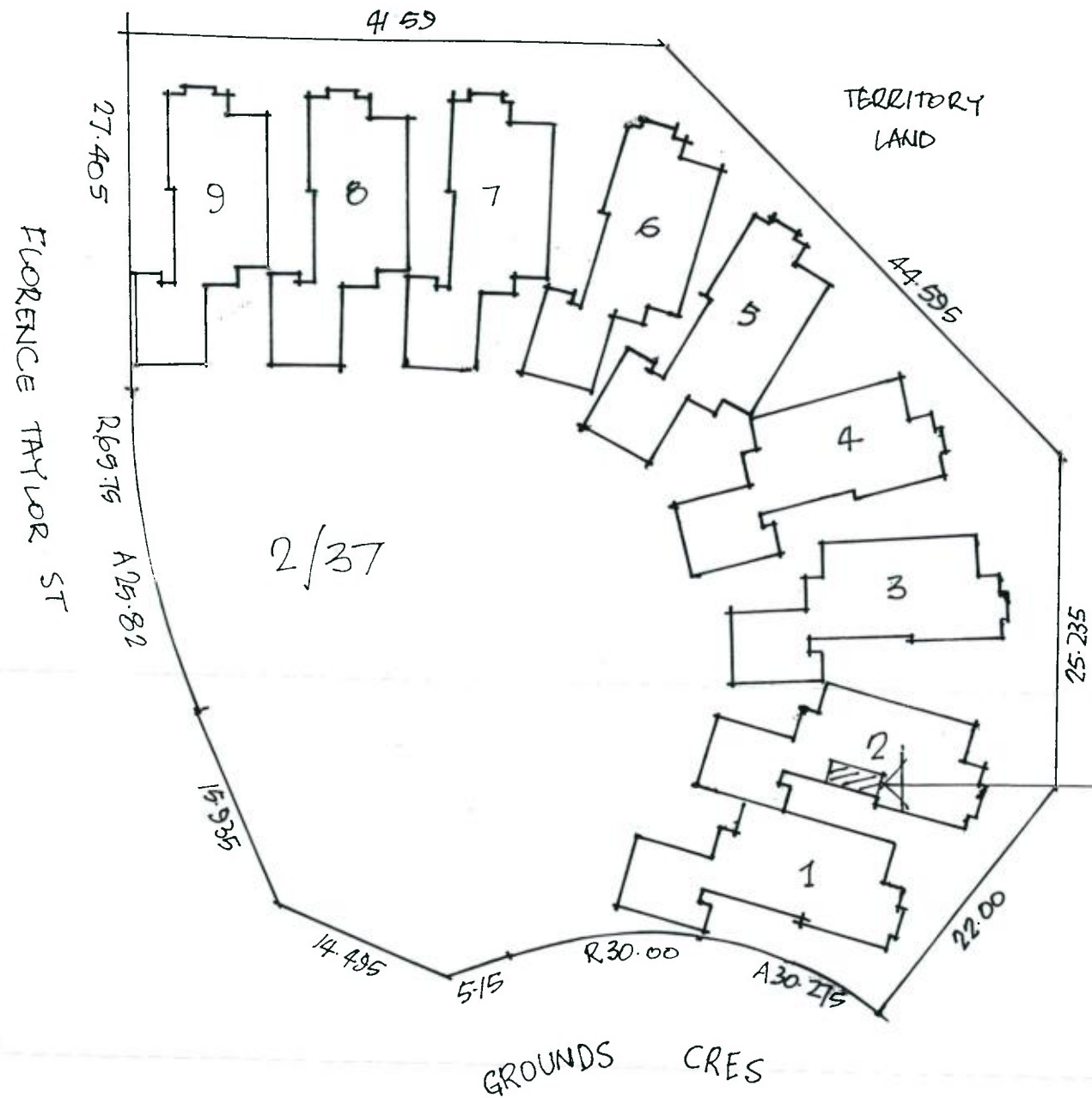
UNIT 2
 BLOCK 2 SECTION 37
 GREENWAY ACT

1. Figured dimensions to be taken in preference to scaling
2. Builder to check all dimensions on site where relevant.

SCALE 1:100 1:50	DATE 7.9.98
JOB No.	DRAWING No. 989-1 of 2

34

SITE PLAN 1:500



PROPOSED BATHROOM
ALTERATIONS

AMENDMENTS



62869411
TELEPHONE

CONSTRUCTION MANAGEMENT • DESIGN & CONSTRUCTION
BUILDING & CONTRACTING • PROJECT MANAGEMENT

PROPOSED BATHROOM
ALTERATIONS for
J & W. BOOTH

SITE PLAN

UNIT 2
BLOCK 2 SECTION 37
GREENWAY

1. Figured dimensions to be taken in preference to scaling.
2. Builder to check all dimensions on site where relevant.

SCALE 1:500	DATE 7.9.98
JOB No.	DRAWING No. 989-2 of 2

TAX INVOICE

Invoice Date
02 May 2019



Stewart & Hanslow

Invoice Number
3607889

Home Reports Pty Ltd
PO Box 1220
TUGGERANONG ACT 2901
AUSTRALIA

Reference

ABN
89 168 796 594

Description	Quantity	Unit Price	GST	Amount AUD
Building Report for 2/7 Grounds Crescent, Greenway.	1.00	990.91	10%	990.91
Subtotal				990.91
Total GST 10%				99.09
Invoice Total AUD				1,090.00
Total Net Payments AUD				0.00
Amount Due AUD				1,090.00

Due Date: 02 Nov 2019

Please include invoice number if you choose to pay this invoice through internet banking.

If you wish to pay by credit card please call our office on 02 6291 0550.

PAYMENT ADVICE

To: Home Reports Pty Ltd
PO Box 1220
TUGGERANONG ACT 2901
AUSTRALIA

Bank: National Australia Bank
BSB: 082 923
Account Number: 846135216

Customer Stewart & Hanslow

Invoice Number 3607889

Amount Due 1,090.00

Due Date 02 Nov 2019

Amount Enclosed

Enter the amount you are paying above