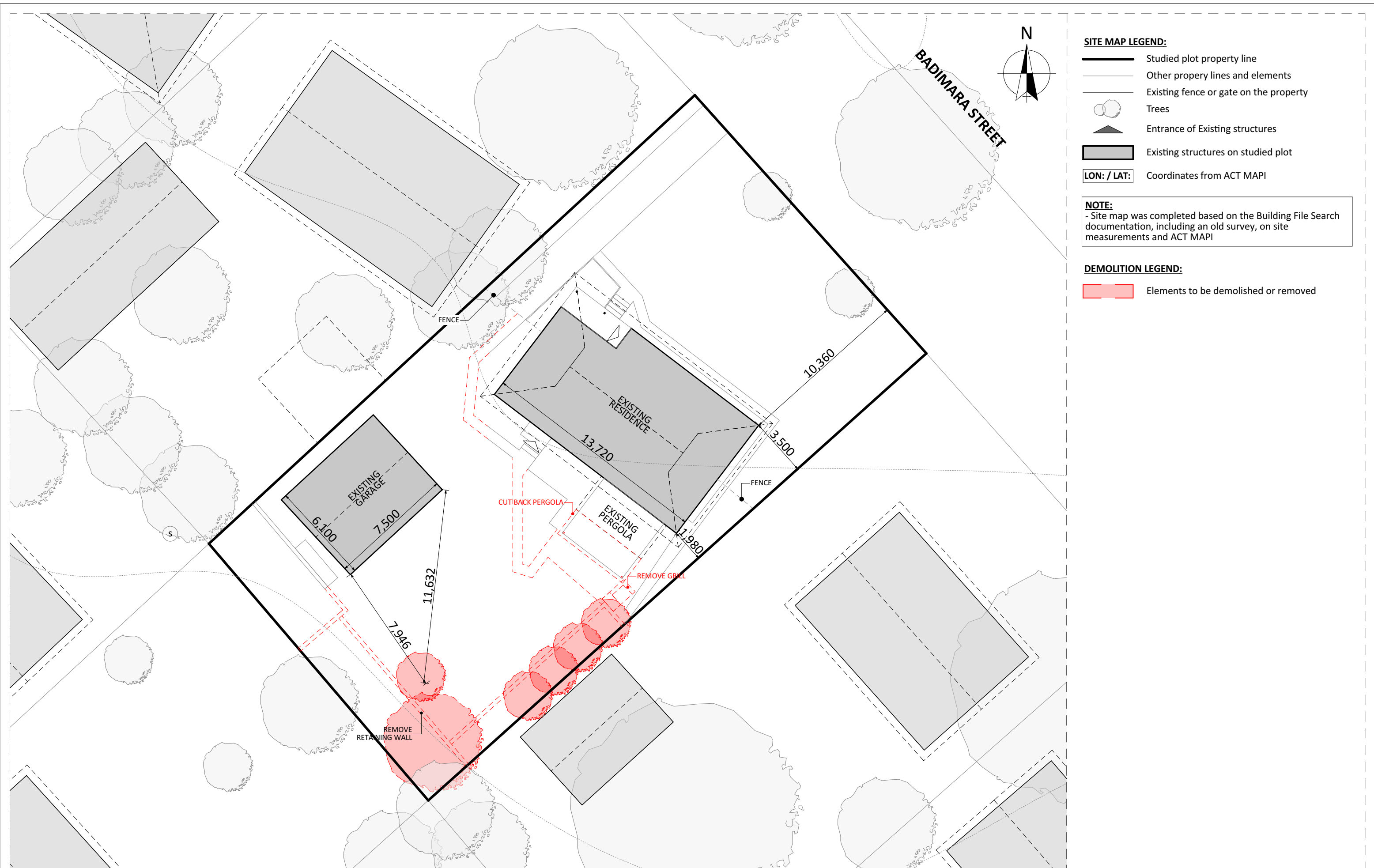




**SITE MAP LEGEND:**

- Studied plot property line
- Other property lines and elements
- Existing fence or gate on the property
- Trees
- Entrance of Existing structures
- Existing structures on studied plot
- LON: / LAT: Coordinates from ACT MAPI

**NOTE:**

- Site map was completed based on the Building File Search documentation, including an old survey, on site measurements and ACT MAPI

**DEMOLITION LEGEND:**

- Elements to be demolished or removed



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**PROJECT DETAILS**

Customer Name: Urvashi & Bhartendu Rajput  
Project Address: 213 Badimara Street, Fisher ACT 2611  
Block № 8  
Section № 8

**AREAS**

|                                                       |           |
|-------------------------------------------------------|-----------|
| Proposed Secondary Residence GFA                      | 87.37 m2  |
| Proposed Roof Area                                    | 122.04 m2 |
| Block Area                                            | 817.00 m2 |
| Actual Block Ratio                                    | 29.17 %   |
| Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]   | 440.50 m2 |
| Minimum Private Open Space [(Block area x 0.60) - 50] | 440.20 m2 |

| REV  | DESIGN PHASE   | DATE      | INITIALS |
|------|----------------|-----------|----------|
| C3.3 | CONCEPT DESIGN | 01-Jul-21 | Z.E.     |

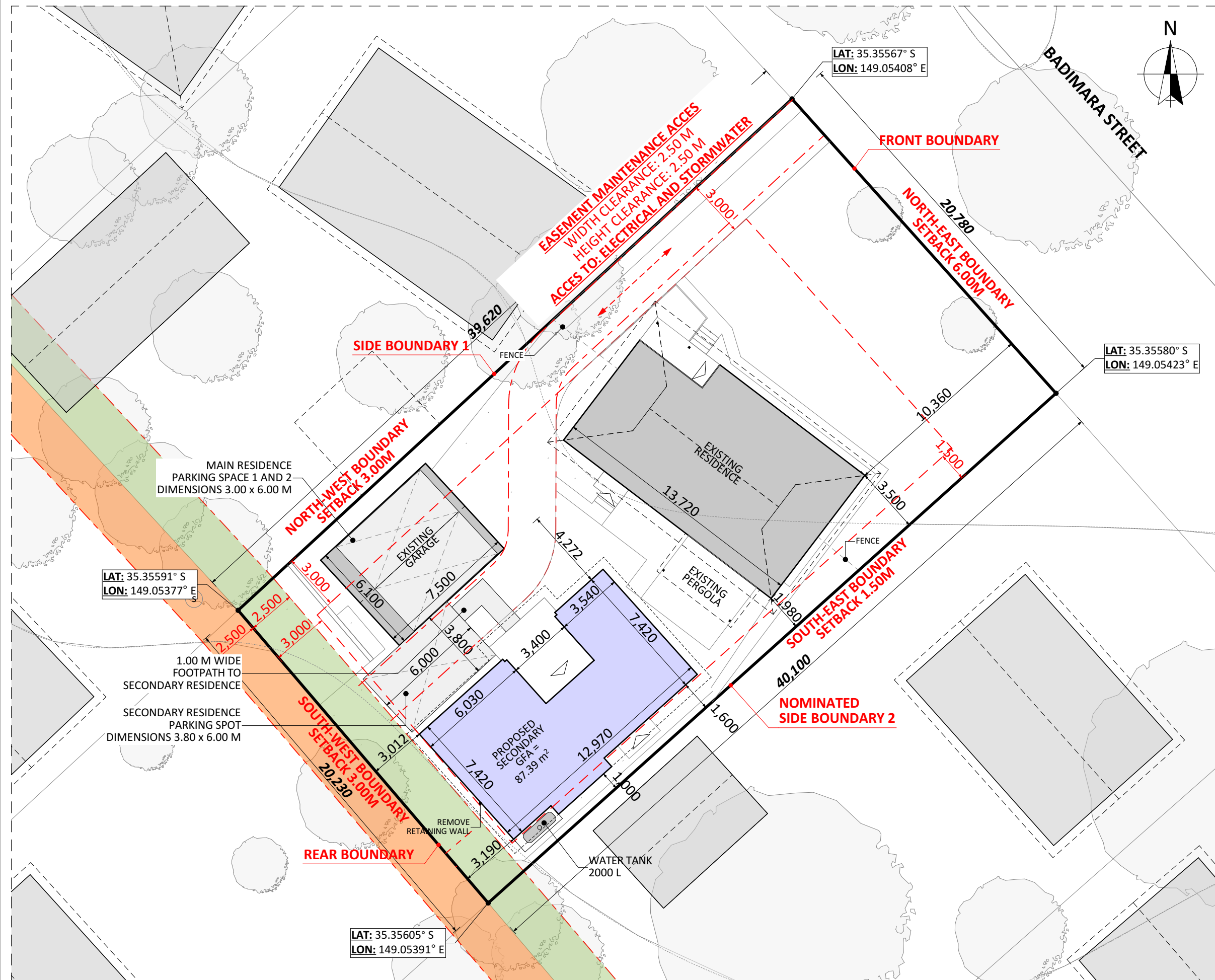
CUSTOMER APPROVAL

| NAME | SIGNATURE | DATE |
|------|-----------|------|
|      |           |      |

DRAWING NAME

**SITE MAP - DEMOLITION**

| DRAWING SCALE | SHEET SIZE | DRAWING NUMBER | CHECKLIST NUMBER |
|---------------|------------|----------------|------------------|
| 1:200         | A3         | 1              | 0661             |



#### SITE MAP LEGEND:

- Studied plot property line
- Other property lines and elements
- Existing fence or gate on the property
- Trees
- Entrance of Existing structures
- Existing structures on studied plot
- Coordinates from ACT MAPI

#### NOTE:

- Site map was completed based on the Building File Search documentation, including an old survey, on site measurements and ACT MAPI

#### NOTE\*\*:

##### BOUNDARY SETBACK

- The proposed building encroaches the boundary setbacks. This was acknowledged, and it will be argued.

##### EASEMENT ACCESS

- The proposed building doesn't encroach any easement

##### SOLAR BUDILING ENVELOPE

- The proposed building is encroaching the Solar Building envelope. See "Solar and Building Envelope Plan", and Elevations.

##### TREE MANAGEMENT

- No protected trees, but this should be checked by Planning

##### POS - (Private Open Spcae)

- Minimum POS of this block is 440.20 m2  
- With the current design the actual POS is 440.50 m2

#### SETBACK LEGEND:

- Property line offset, to determin buildable zone on the porerty

#### EASEMENT LEGEND:

- Stormwater and Electrical easement
- Sewer and Electrical easement

#### NOTE:

Each entity has different requirements for access to their easements on a block for maintenance

##### ELECTRICITY - EVO ENERY

1.50m wide and min 2.40m high machinery access to any pole location on your block

##### STORMWATER - TCCS

In new suburbs access is via the spine (along the easement). In the other locations access of 2.50m x 2.50m is required

##### SEWERAGE - ICON WATER

If Depth to Pipe Inverter <2.2m - most cases:  
1.80m wide x 2.65m high clearance is required  
If Depth to Pipe Inverter 2.2m - 3.0m:  
2.50m wide x 2.85m high clearance is required



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#### PROJECT DETAILS

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Section № 8

#### AREAS

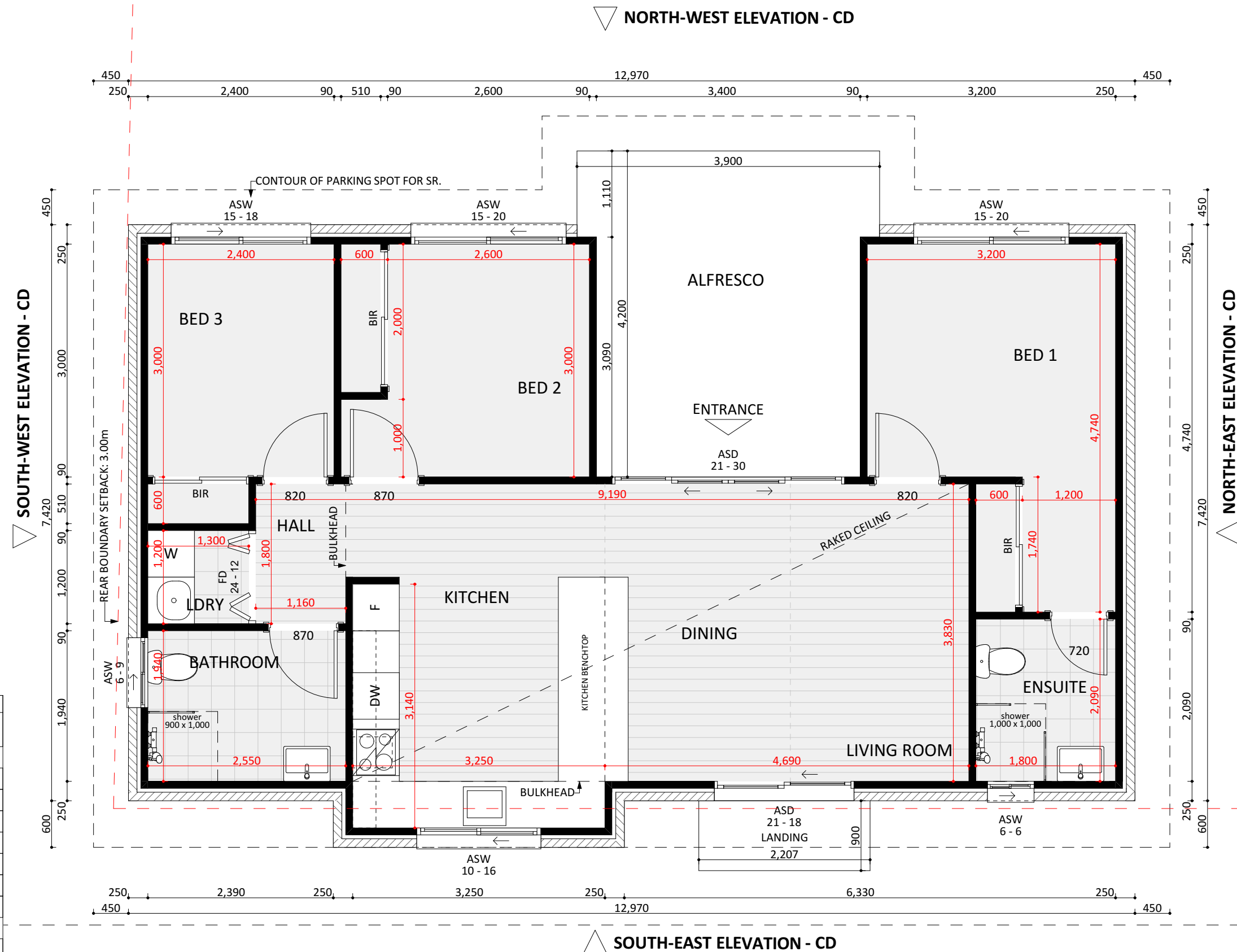
Proposed Secondary Residence GFA 87.37 m2  
Proposed Roof Area 122.04 m2  
Block Area 817.00 m2  
Actual Block Ratio 29.17 %  
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 440.50 m2  
Minimum Private Open Space [(Block area x 0.60) - 50] 440.20 m2

| REV               | DESIGN PHASE   | DATE      | INITIALS |
|-------------------|----------------|-----------|----------|
| C3.3              | CONCEPT DESIGN | 01-Jul-21 | Z.E.     |
| CUSTOMER APPROVAL |                |           |          |
| NAME              | SIGNATURE      | DATE      |          |

#### DRAWING NAME

SITE MAP - NEW

| DRAWING SCALE | SHEET SIZE | DRAWING NUMBER | CHECKLIST NUMBER |
|---------------|------------|----------------|------------------|
| 1:200         | A3         | 2              | 0661             |

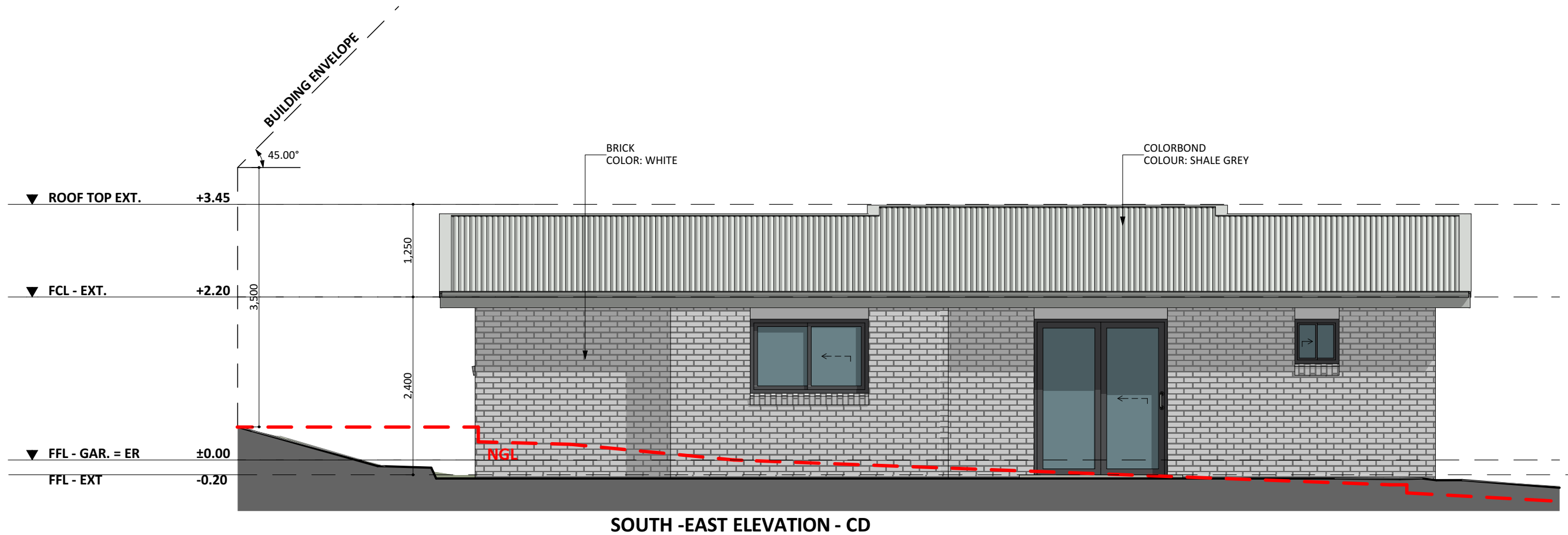


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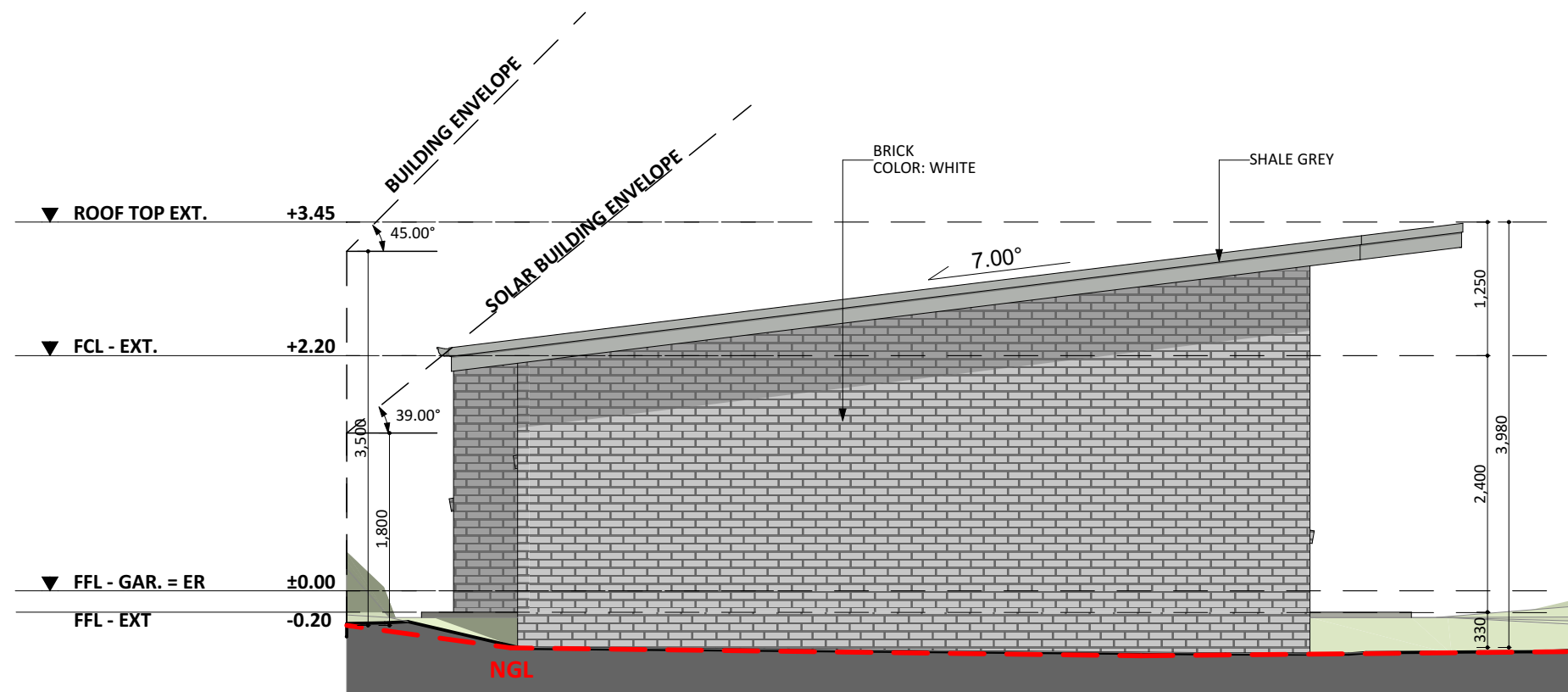
| AREAS                                                        |           |
|--------------------------------------------------------------|-----------|
| Proposed Secondary Residence GFA                             | 87.37 m2  |
| Proposed Roof Area                                           | 122.04 m2 |
| Block Area                                                   | 817.00 m2 |
| Actual Block Ratio                                           | 29.17 %   |
| Actual POS $[(GFA + Gar. GFA + Dr'way) - Block area]$        | 440.50 m2 |
| Minimum Private Open Space $[(Block area \times 0.60) - 50]$ | 440.20 m2 |

|                         |            |                |                  |
|-------------------------|------------|----------------|------------------|
| DRAWING NAME            |            |                |                  |
| FLOOR PLAN - DIMENSIONS |            |                |                  |
| DRAWING SCALE           | SHEET SIZE | DRAWING NUMBER | CHECKLIST NUMBER |
| 1:55                    | A3         | 3              | 0661             |





SOUTH -EAST ELEVATION - CD



NORTH-EAST ELEVATION - CD

PROJECT DETAILS

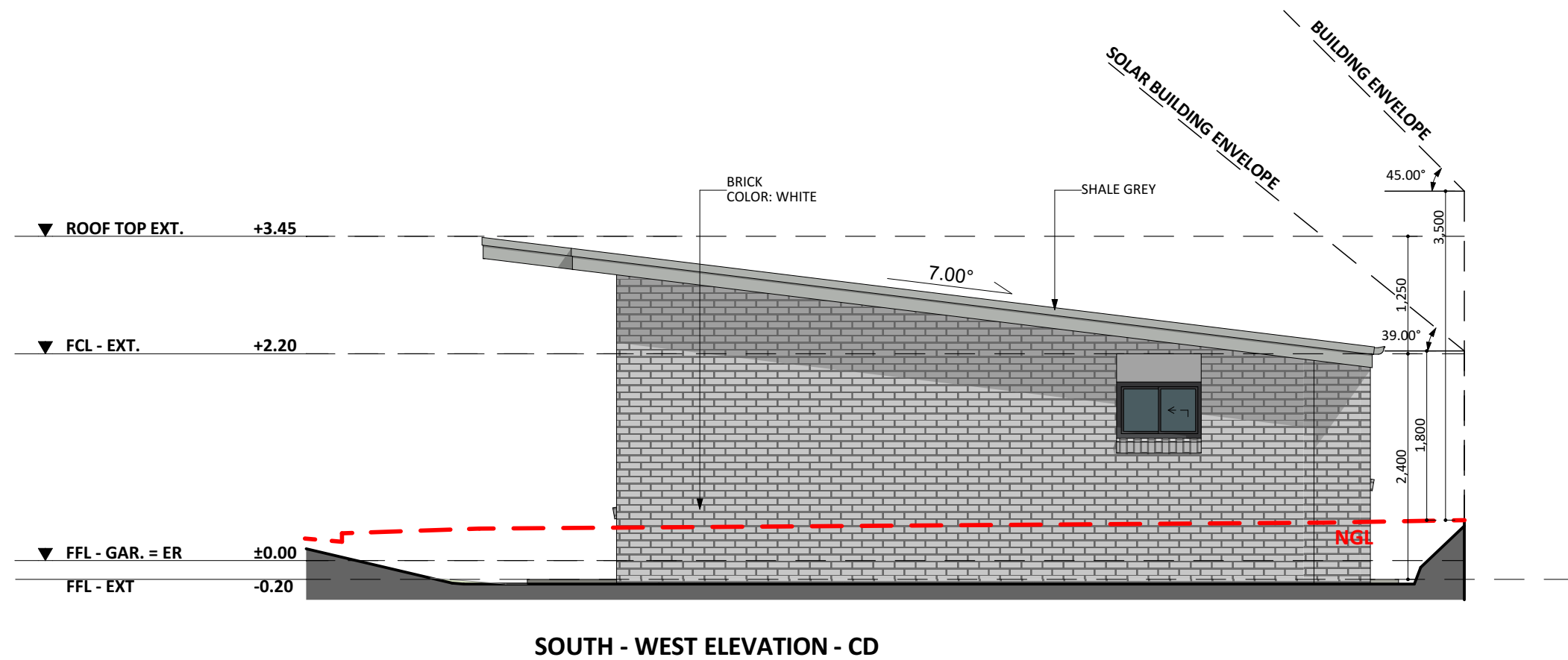
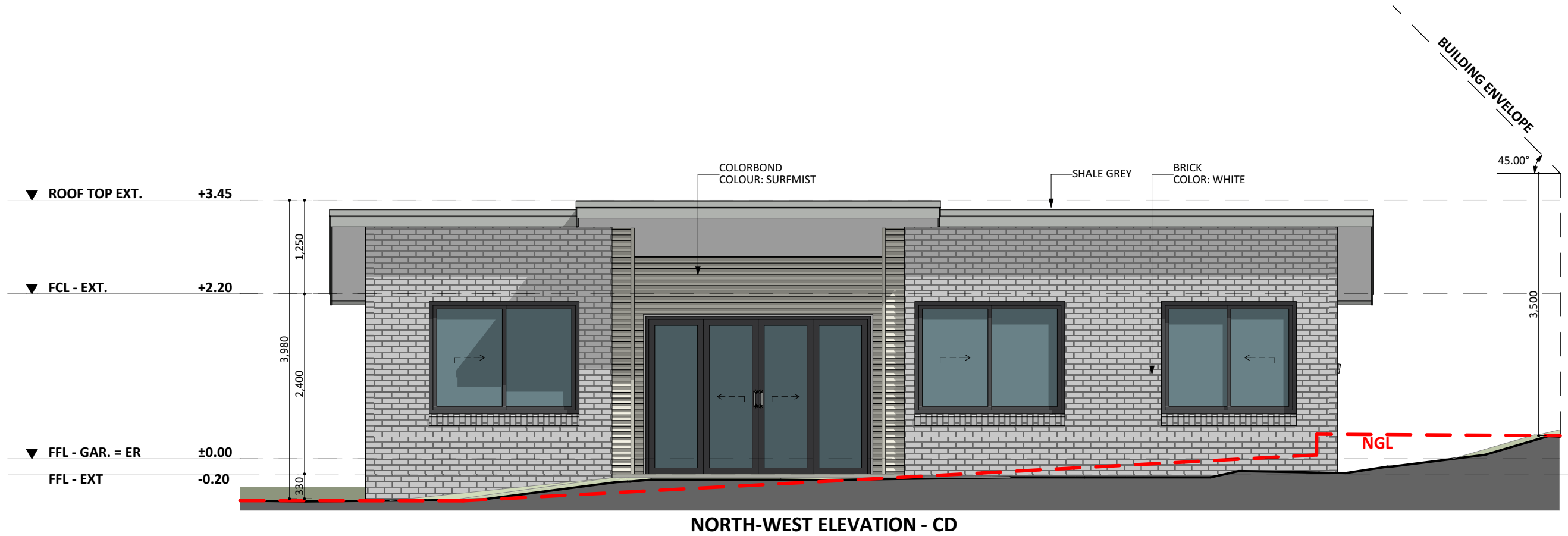
Customer Name: Urvashi & Bhartendu Rajput  
Project Address: 213 Badimara Street, Fisher ACT 2611  
Block № 8  
Section № 8

AREAS

Proposed Secondary Residence GFA 87.37 m2  
Proposed Roof Area 122.04 m2  
Block Area 817.00 m2  
Actual Block Ratio 29.17 %  
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 440.50 m2  
Minimum Private Open Space [(Block area x 0.60) - 50] 440.20 m2

| REV               | DESIGN PHASE   | DATE      | INITIALS |
|-------------------|----------------|-----------|----------|
| C3.3              | CONCEPT DESIGN | 01-Jul-21 | Z.E.     |
| CUSTOMER APPROVAL |                |           |          |
| NAME              |                | SIGNATURE | DATE     |

| DRAWING NAME  |            |                |                  |
|---------------|------------|----------------|------------------|
| ELEVATIONS 1  |            |                |                  |
| DRAWING SCALE | SHEET SIZE | DRAWING NUMBER | CHECKLIST NUMBER |
| 1:60          | A3         | 5              | 0661             |



PROJECT DETAILS

Customer Name: Urvashi & Bhartendu Rajput  
Project Address: 213 Badimara Street, Fisher ACT 2611  
Block № 8  
Section № 8

AREAS

Proposed Secondary Residence GFA 87.37 m2  
Proposed Roof Area 122.04 m2  
Block Area 817.00 m2  
Actual Block Ratio 29.17 %  
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 440.50 m2  
Minimum Private Open Space [(Block area x 0.60) - 50] 440.20 m2

| REV               | DESIGN PHASE   | DATE      | INITIALS |
|-------------------|----------------|-----------|----------|
| C3.3              | CONCEPT DESIGN | 01-Jul-21 | Z.E.     |
| CUSTOMER APPROVAL |                |           |          |
| NAME              | SIGNATURE      | DATE      |          |

DRAWING NAME

ELEVATIONS 2

| DRAWING SCALE | SHEET SIZE | DRAWING NUMBER | CHECKLIST NUMBER |
|---------------|------------|----------------|------------------|
| 1:60          | A3         | 6              | 0661             |



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PROJECT DETAILS

Customer Name: Urvashi & Bhartendu Rajput  
Project Address: 213 Badimara Street, Fisher ACT 2611  
Block № 8  
Section № 8

AREAS

Proposed Secondary Residence GFA  
Proposed Roof Area  
Block Area  
Actual Block Ratio  
Actual POS  $[(GFA + Gar. GFA + Dr'way) - Block area]$   
Minimum Private Open Space  $[(Block area \times 0.60) - 50]$

87.37 m2  
122.04 m2  
817.00 m2  
29.17 %  
440.50 m2  
440.20 m2

|                   |                |           |          |
|-------------------|----------------|-----------|----------|
| REV               | DESIGN PHASE   | DATE      | INITIALS |
| C3.3              | CONCEPT DESIGN | 01-Jul-21 | Z.E.     |
| CUSTOMER APPROVAL |                |           |          |
| NAME              |                | SIGNATURE | DATE     |

DRAWING NAME

SNAPSHOTS 1

|               |            |                |                  |
|---------------|------------|----------------|------------------|
| DRAWING SCALE | SHEET SIZE | DRAWING NUMBER | CHECKLIST NUMBER |
|               | A3         | 7              | 0661             |



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PROJECT DETAILS

Customer Name: Urvashi & Bhartendu Rajput  
Project Address: 213 Badimara Street, Fisher ACT 2611  
Block № 8  
Section № 8

AREAS

Proposed Secondary Residence GFA  
Proposed Roof Area  
Block Area  
Actual Block Ratio  
Actual POS  $[(GFA + Gar. GFA + Dr'way) - Block area]$   
Minimum Private Open Space  $[(Block area \times 0.60) - 50]$

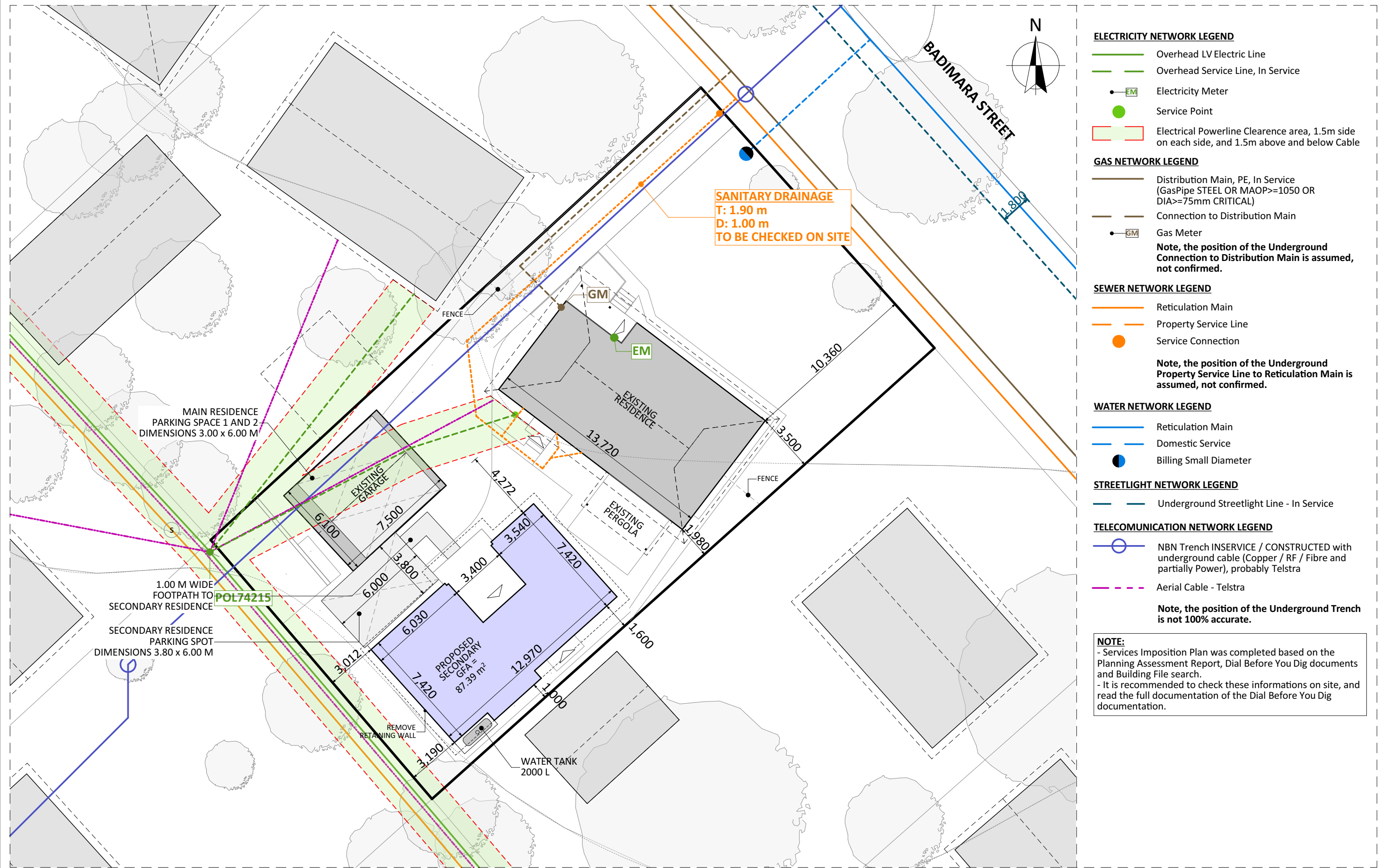
87.37 m2  
122.04 m2  
817.00 m2  
29.17 %  
440.50 m2  
440.20 m2

|                   |                |           |          |
|-------------------|----------------|-----------|----------|
| REV               | DESIGN PHASE   | DATE      | INITIALS |
| C3.3              | CONCEPT DESIGN | 01-Jul-21 | Z.E.     |
| CUSTOMER APPROVAL |                |           |          |
| NAME              |                | SIGNATURE | DATE     |

DRAWING NAME

SNAPSHOTS 2

|               |            |                |                  |
|---------------|------------|----------------|------------------|
| DRAWING SCALE | SHEET SIZE | DRAWING NUMBER | CHECKLIST NUMBER |
|               | A3         | 8              | 0661             |



- ELECTRICITY NETWORK LEGEND**
- Overhead LV Electric Line
  - Overhead Service Line, In Service
  - Electricity Meter
  - Service Point
  - Electrical Powerline Clearance area, 1.5m side on each side, and 1.5m above and below Cable
- GAS NETWORK LEGEND**
- Distribution Main, PE, In Service (GasPipe STEEL OR MAOP>=1050 OR DIA>=75mm CRITICAL)
  - Connection to Distribution Main
  - Gas Meter
  - Note, the position of the Underground Connection to Distribution Main is assumed, not confirmed.
- SEWER NETWORK LEGEND**
- Reticulation Main
  - Property Service Line
  - Service Connection
  - Note, the position of the Underground Property Service Line to Reticulation Main is assumed, not confirmed.
- WATER NETWORK LEGEND**
- Reticulation Main
  - Domestic Service
  - Billing Small Diameter
- STREETLIGHT NETWORK LEGEND**
- Underground Streetlight Line - In Service
- TELECOMMUNICATION NETWORK LEGEND**
- NBN Trench INSERVICE / CONSTRUCTED with underground cable (Copper / RF / Fibre and partially Power), probably Telstra
  - Aerial Cable - Telstra
  - Note, the position of the Underground Trench is not 100% accurate.

**NOTE:**

- Services Imposition Plan was completed based on the Planning Assessment Report, Dial Before You Dig documents and Building File search.
- It is recommended to check these informations on site, and read the full documentation of the Dial Before You Dig documentation.



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**PROJECT DETAILS**

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Block № 8  
Section № 8

**AREAS**

|                                                       |                       |
|-------------------------------------------------------|-----------------------|
| Proposed Secondary Residence GFA                      | 87.37 m <sup>2</sup>  |
| Proposed Roof Area                                    | 122.04 m <sup>2</sup> |
| Block Area                                            | 817.00 m <sup>2</sup> |
| Actual Block Ratio                                    | 29.17 %               |
| Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]   | 440.50 m <sup>2</sup> |
| Minimum Private Open Space [(Block area x 0.60) - 50] | 440.20 m <sup>2</sup> |

| REV  | DESIGN PHASE   | DATE      | INITIALS |
|------|----------------|-----------|----------|
| C3.3 | CONCEPT DESIGN | 01-Jul-21 | Z.E.     |

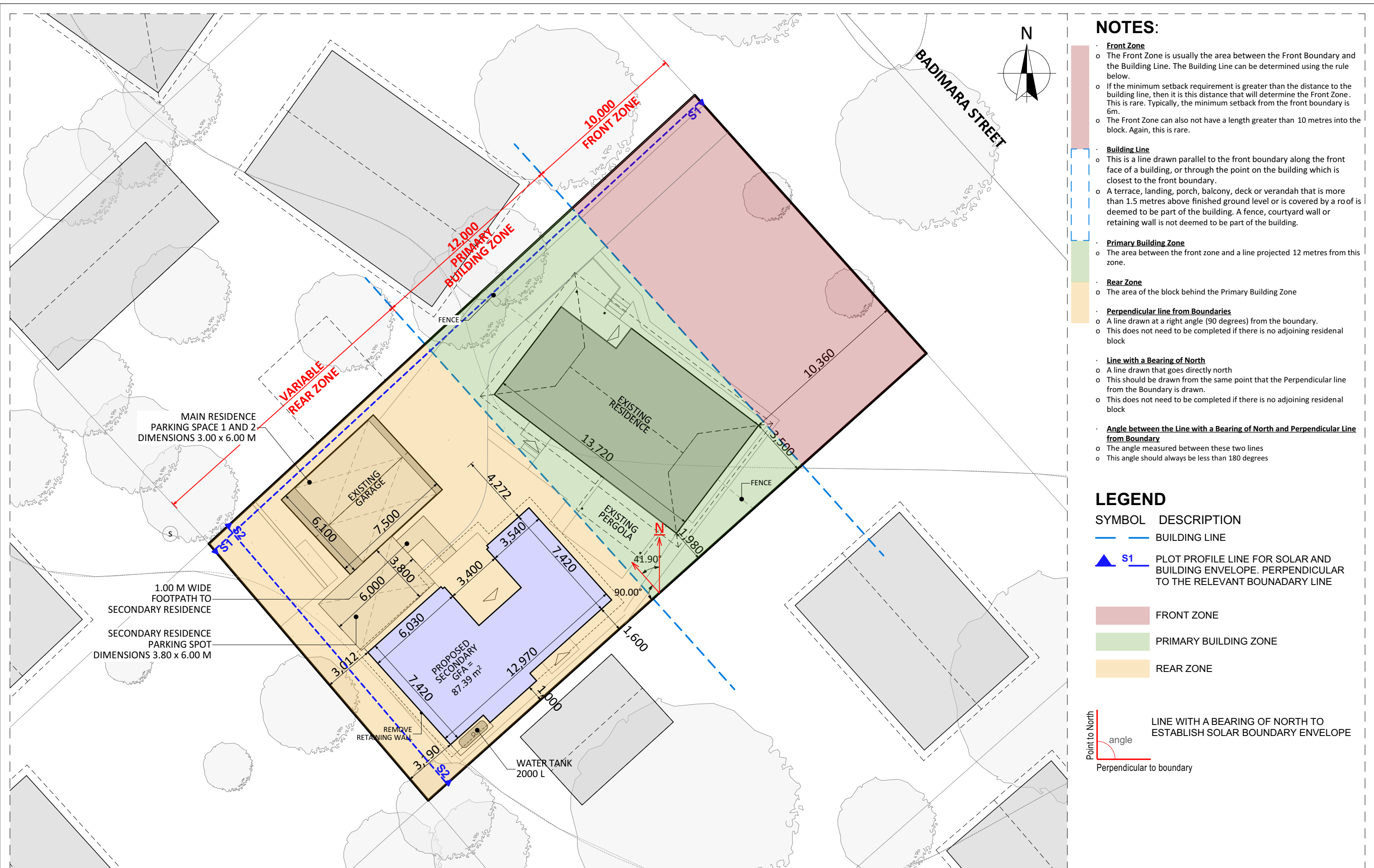
CUSTOMER APPROVAL

| NAME | SIGNATURE | DATE |
|------|-----------|------|
|------|-----------|------|

DRAWING NAME

## SERVICES IMPOSITION PLAN

| DRAWING SCALE | SHEET SIZE | DRAWING NUMBER | CHECKLIST NUMBER |
|---------------|------------|----------------|------------------|
| 1:200         | A3         | 9              | 0661             |



NOTES:

- **Front Zone**
  - o The Front Zone is usually the area between the Front Boundary and the Building Line. The Building Line can be determined using the rule below.
  - o If the minimum setback requirement is greater than the distance to the building line, then it is this distance that will determine the Front Zone. This is rare. Typically, the minimum setback from the front boundary is 6m.
  - o The Front Zone can also not have a length greater than 10 metres into the block. Again, this is rare.
- **Building Line**
  - o This is a line drawn parallel to the front boundary along the front face of a building, or through the point on the building which is closest to the front boundary.
  - o A terrace, landing, porch, balcony, deck or verandah that is more than 1.5 metres above finished ground level or is covered by a roof is deemed to be part of the building. A fence, courtyard wall or retaining wall is not deemed to be part of the building.
- **Primary Building Zone**
  - o The area between the front zone and a line projected 12 metres from this zone.
- **Rear Zone**
  - o The area of the block behind the Primary Building Zone
- **Perpendicular line from Boundaries**
  - o A line drawn at a right angle (90 degrees) from the boundary.
  - o This does not need to be completed if there is no adjoining residential block
- **Line with a Bearing of North**
  - o A line drawn that goes directly north
  - o This should be drawn from the same point that the Perpendicular line from the Boundary is drawn.
  - o This does not need to be completed if there is no adjoining residential block
- **Angle between the Line with a Bearing of North and Perpendicular Line from Boundary**
  - o The angle measured between these two lines
  - o This angle should always be less than 180 degrees

LEGEND

- | SYMBOL | DESCRIPTION                                                                                    |
|--------|------------------------------------------------------------------------------------------------|
|        | BUILDING LINE                                                                                  |
|        | PLOT PROFILE LINE FOR SOLAR AND BUILDING ENVELOPE. PERPENDICULAR TO THE RELEVANT BOUNDARY LINE |
|        | FRONT ZONE                                                                                     |
|        | PRIMARY BUILDING ZONE                                                                          |
|        | REAR ZONE                                                                                      |
|        | LINE WITH A BEARING OF NORTH TO ESTABLISH SOLAR BOUNDARY ENVELOPE                              |

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PROJECT DETAILS

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Block № 8  
Section № 8

AREAS

|                                                       |           |
|-------------------------------------------------------|-----------|
| Proposed Secondary Residence GFA                      | 87.37 m2  |
| Proposed Roof Area                                    | 122.04 m2 |
| Block Area                                            | 817.00 m2 |
| Actual Block Ratio                                    | 29.17 %   |
| Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]   | 440.50 m2 |
| Minimum Private Open Space [(Block area x 0.60) - 50] | 440.20 m2 |

|      |                |           |          |
|------|----------------|-----------|----------|
| REV  | DESIGN PHASE   | DATE      | INITIALS |
| C3.3 | CONCEPT DESIGN | 01-Jul-21 | Z.E.     |

CUSTOMER APPROVAL

|      |           |      |
|------|-----------|------|
| NAME | SIGNATURE | DATE |
|------|-----------|------|

DRAWING NAME

### BUILDING ZONE

|               |            |                |                  |
|---------------|------------|----------------|------------------|
| DRAWING SCALE | SHEET SIZE | DRAWING NUMBER | CHECKLIST NUMBER |
| 1:200         | A3         | 10             | 0661             |

NOTES:

Building Envelope

- ☐ Large Blocks (Greater than 500m)

o This rule applies to side and rear boundaries

o Building Envelope Fence Height - 3.5m

o Angle of projecon from Building Envelope Fence - 45 Degrees
- ☐ Mid-Sized Blocks Approved aer 5 July 2013 (250m2 to 500m2)

o This rule applies to side and rear boundaries

o Building Envelope Fence Height - 3.5m

o Angle of projecon from Building Envelope Fence - 45 Degrees
- ☐ Mid-Sized Blocks Approved before 5 July 2013 (250m2 to 500m2)

o For North Facing Boundaries of Adjoining Residenal Blocks (see the below definion ):

o Building Envelope Fence Height

☐ Primary Building Zone - 2m

☐ Rear Zone - 2m

o Angle of Projecon from Building Envelope Fence

☐ Primary Building Zone - 45 Degrees

☐ Rear Zone - 30 Degrees

o Note: if we are building on the boundary there can be different rules. Consult with Planning Approvals Manager.

o For all other boundaries of adjoining residenal blocks

o Building Envelope Fence Height

☐ Primary Building Zone - 4.5m

☐ Rear Zone - 3.5m

o Angle of Projecon from Building Envelope Fence

☐ Primary Building Zone - 45 Degrees

☐ Rear Zone - 30 Degrees

o For this rule: North Facing Boundary means a boundary of a block where a line drawn perpendicular to the boundary outwards is orientated between 30 degrees east of north and 20 degrees west of north. This is only for Mid-Sized Blocks Approved before the 5 July 2013
- The diagram illustrates the S1 Block Profile, divided into three zones: Front Zone (pink), Primary Building Zone (green), and Rear Zone (orange). A building is shown with a green roof and a yellow facade. A red dashed line represents the Building Envelope, sloping at 45.00° from the horizontal. A vertical line indicates a height of 3,507. The Front Boundary is labeled [NORTH-EAST] and the Rear Boundary is labeled [SOUTH-WEST].
- S1 BLOCK PROFILE
- Solar Building Envelope
- Large Block, if Approved Before 5 July 2013

☐ The Solar Building Envelope Rule applies to any Northern Boundary of an adjoining residenal block .

o Height of the Solar Fence is:

o In the Primary Building Zone - 2.4m

o On all other parts of the boundary - 1.8m

All Blocks, if Approved Aer 5 July 2013

☐ The Solar Building Envelope Rule applies to any Northern Boundary of an adjoining residenal block .

o Height of the 'Solar Fence' is:

o In the Primary Building Zone - 3m

o On all other parts of the boundary - 2.3m

Table 1 – Apparent sun angle (X) at noon on the winter solstice (21 June)

| Aspect of northern boundary<br>(bearing of line drawn perpendicular to the boundary) | Angle<br>(X) |
|--------------------------------------------------------------------------------------|--------------|
| North 0° to <10° East                                                                | 31°          |
| North 0° to <10° West                                                                |              |
| North 10° to <20° East                                                               | 32°          |
| North 10° to <20° West                                                               |              |
| North 20° to <30° East                                                               | 34°          |
| North 20° to <30° West                                                               |              |
| North 30° to <40° East                                                               | 36°          |
| North 30° to <40° West                                                               |              |
| North 40° to 45° East                                                                | 39°          |
| North 40° to 45° West                                                                |              |

The diagram illustrates the S2 Block Profile, showing the Rear Zone (orange) and Side Boundary 1 (South-East). A building is shown with a green roof and a yellow facade. A red dashed line represents the Building Envelope, sloping at 45.00° from the horizontal. A white dashed line represents the Solar Building Envelope, sloping at 39.00° from the horizontal. A vertical line indicates a height of 3,500. The Side Boundary 1 is labeled [SOUTH-EAST].

S2 BLOCK PROFILE

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PROJECT DETAILS

Customer Name: Urvashi & Bhartendu Rajput  
Project Address: 213 Badimara Street, Fisher ACT 2611  
Block № 8  
Section № 8

AREAS

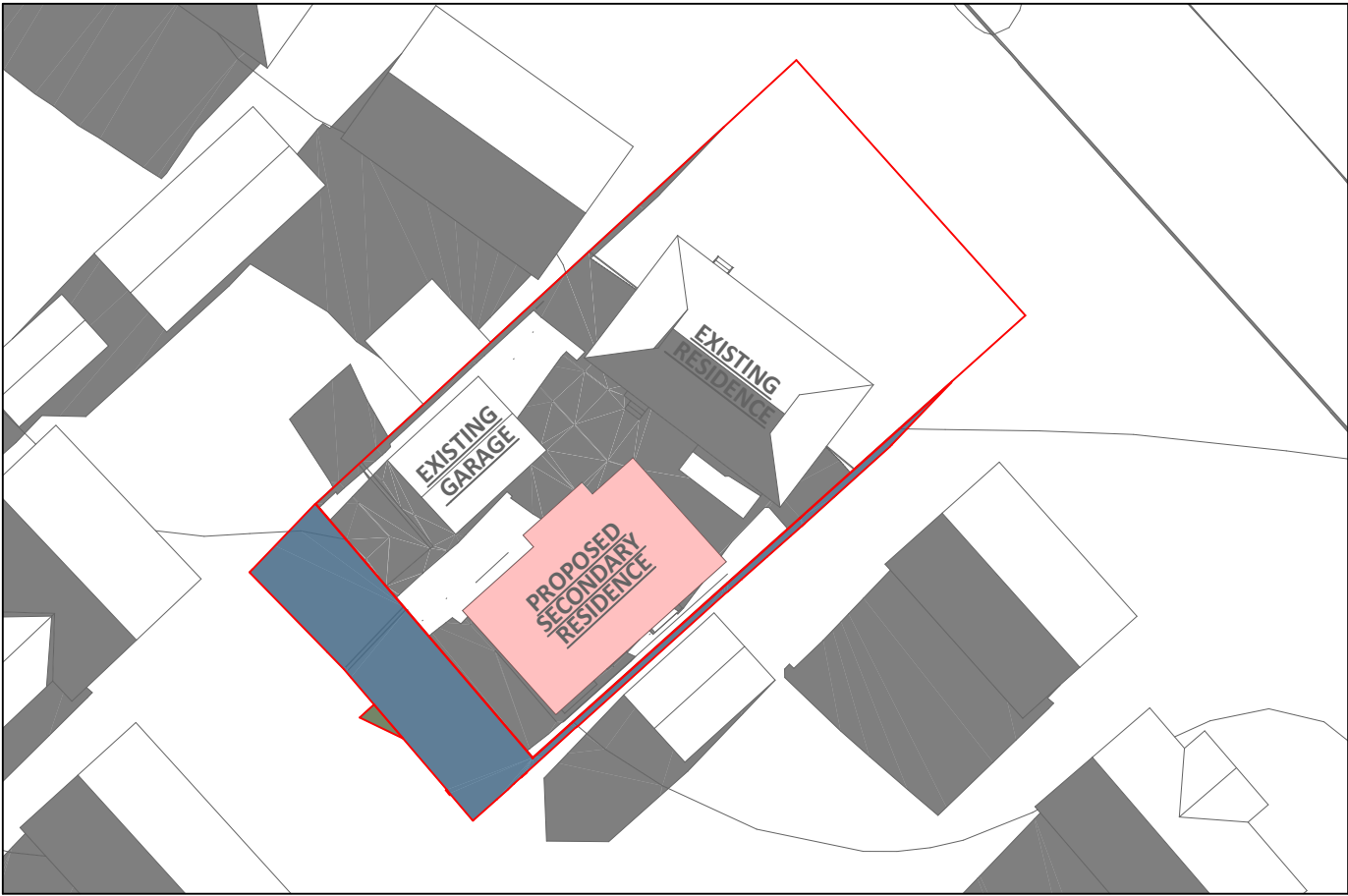
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Minimum Private Open Space  $[(Block area \times 0.60) - 50]$  440.20 m2

| REV               | DESIGN PHASE   | DATE      | INITIALS |
|-------------------|----------------|-----------|----------|
| C3.3              | CONCEPT DESIGN | 01-Jul-21 | Z.E.     |
| CUSTOMER APPROVAL |                |           |          |
| NAME              | SIGNATURE      | DATE      |          |

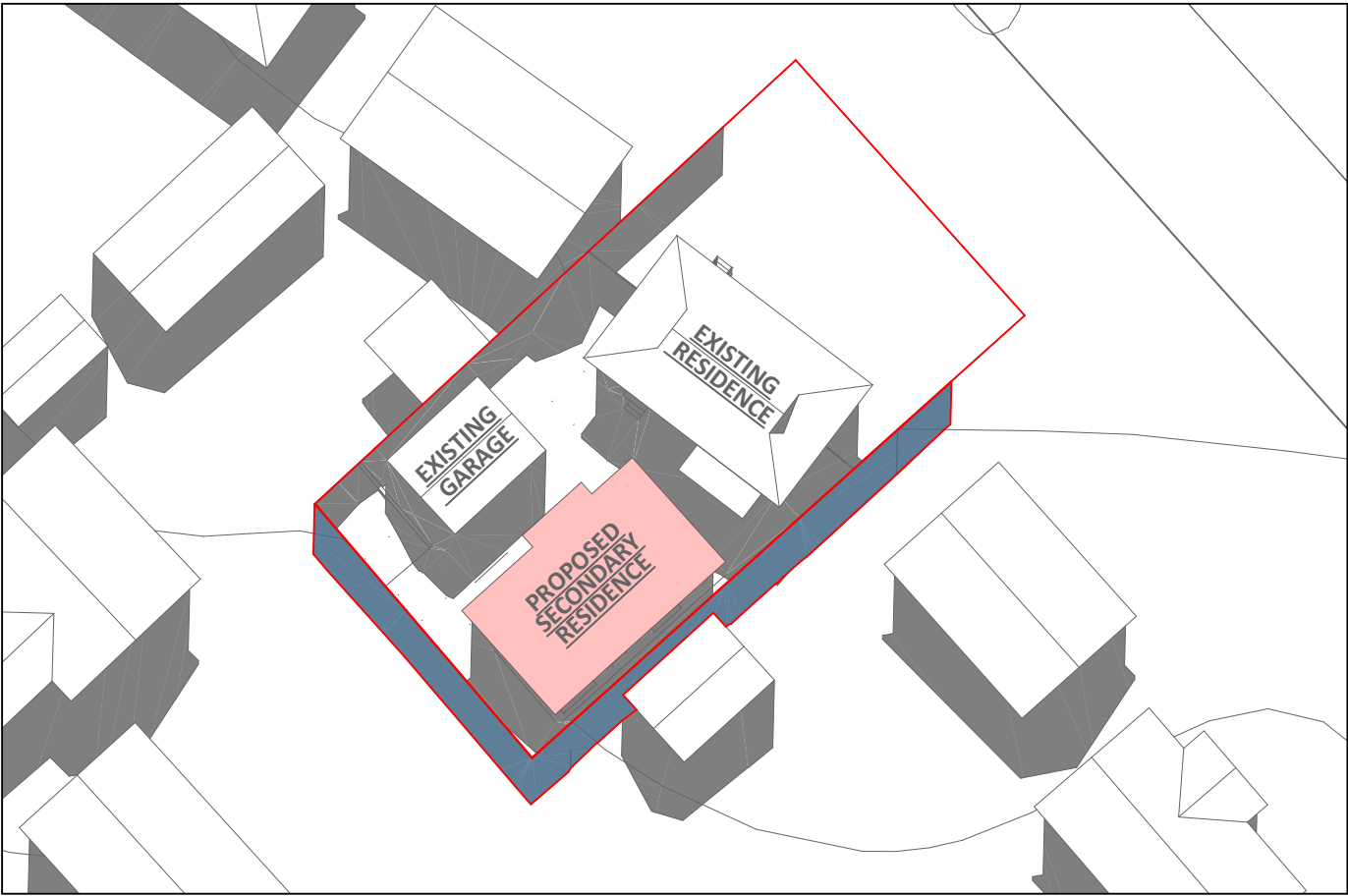
DRAWING NAME

SOLAR AND BUILDING ENVELOPE

| DRAWING SCALE | SHEET SIZE | DRAWING NUMBER | CHECKLIST NUMBER |
|---------------|------------|----------------|------------------|
|               | A3         | 11             | 0661             |



Sun - Winter - Jun 21 - 9:00 AM



Sun - Winter - Jun 21 - 12:00 PM noon



Sun - Winter - Jun 21 - 3:00 PM

LEGEND:

- SHADOW OF EXISTING RESIDENCE  
CAST OUTSIDE OF FENCE OR  
SOMEONE ELSE'S PLOT
- SHADOW OF EXISTING FENCE  
CAST ON SOMEONE ELSE'S PLOT
- GENERAL SHADOW

PROJECT DETAILS

Customer Name: Urvashi & Bhartendu Rajput  
Project Address: 213 Badimara Street, Fisher ACT 2611  
Block № 8  
Section № 8

AREAS

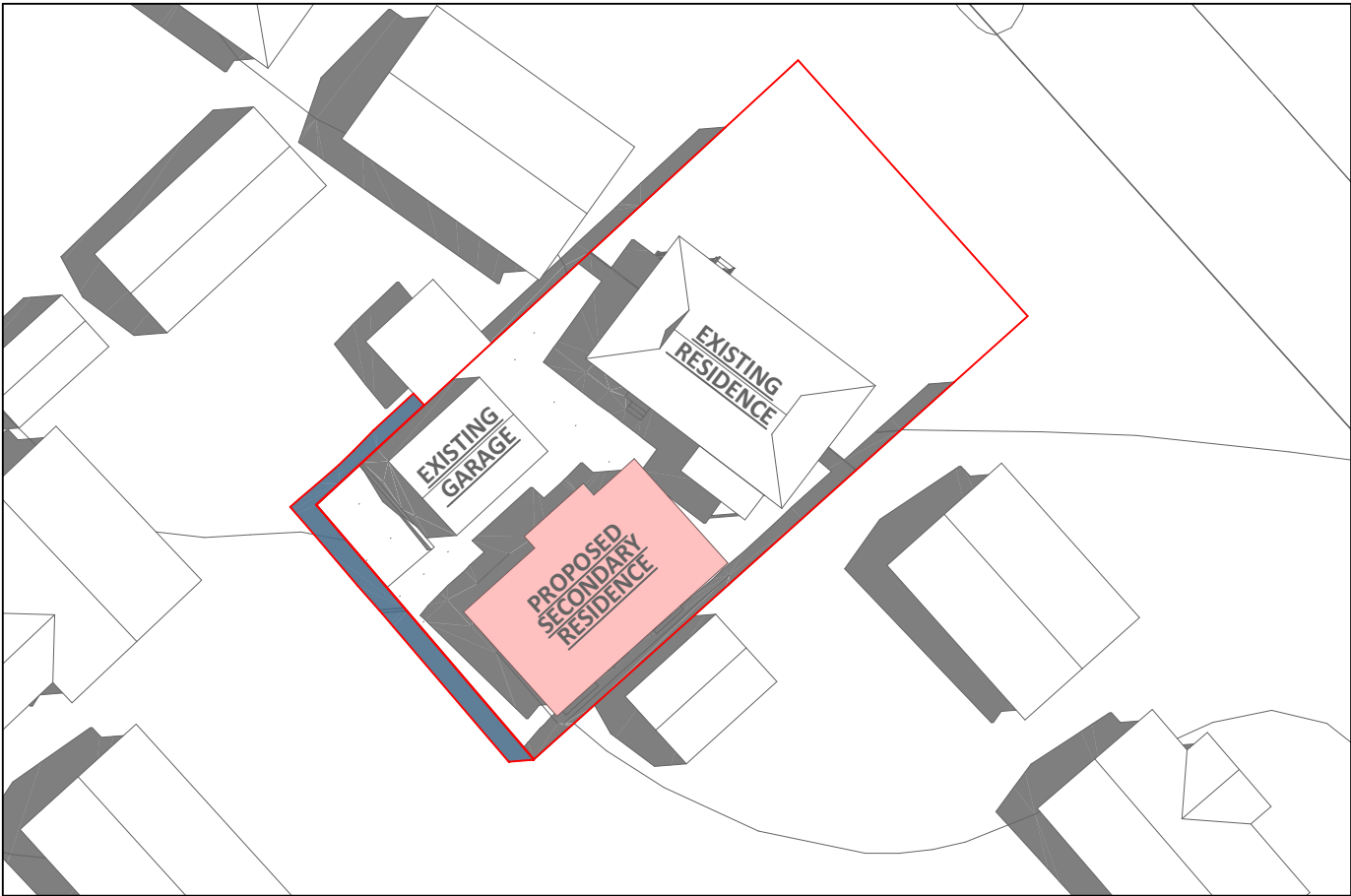
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|-------------------|----------------|-----------|----------|
| C3.3              | CONCEPT DESIGN | 01-Jul-21 | Z.E.     |
| CUSTOMER APPROVAL |                |           |          |
| NAME              | SIGNATURE      | DATE      |          |

DRAWING NAME

SHADOW DIAGRAM - WINTER

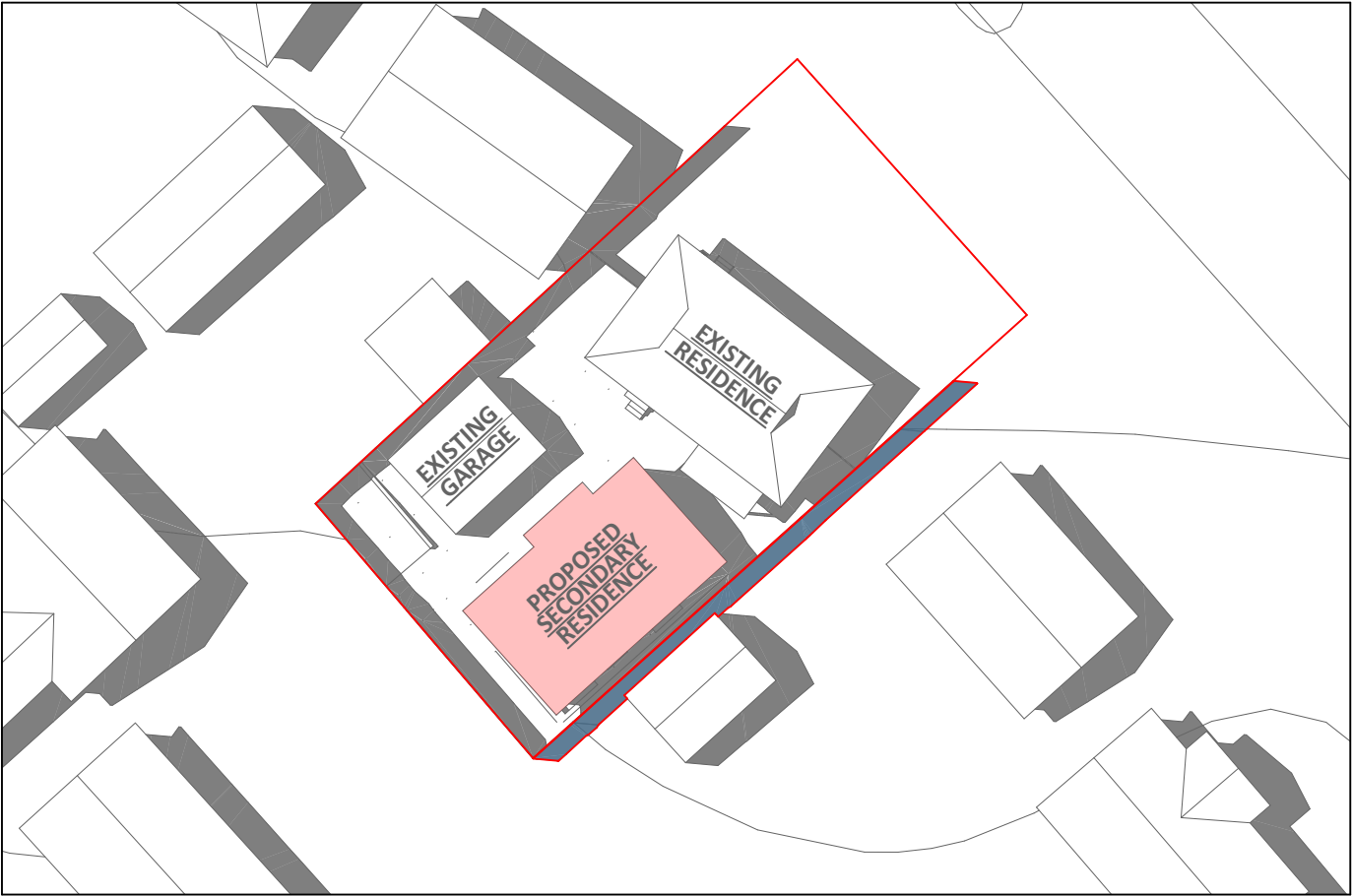
| DRAWING SCALE | SHEET SIZE | DRAWING NUMBER | CHECKLIST NUMBER |
|---------------|------------|----------------|------------------|
|               | A3         | 12             | 0661             |



Sun - Summer- Dec 21 - 9:00 AM



Sun - Summer- Dec 21 - 12:00 PM noon



Sun - Summer- Dec 21 - 3:00 PM

**LEGEND:**

-  SHADOW OF EXISTING RESIDENCE  
CAST OUTSIDE OF FENCE OR  
SOMEONE ELSE'S PLOT
-  SHADOW OF EXISTING FENCE  
CAST ON SOMEONE ELSE'S PLOT
-  GENERAL SHADOW

**PROJECT DETAILS**

Customer Name: Urvashi & Bhartendu Rajput  
Project Address: 213 Badimara Street, Fisher ACT  
2611  
Block № 8  
Section № 8

**AREAS**

Proposed Secondary Residence GFA  
Proposed Roof Area  
Block Area  
Actual Block Ratio  
Actual POS  $[(GFA + Gar. GFA + Dr'way) - Block area]$   
Minimum Private Open Space  $[(Block area \times 0.60) - 50]$

87.37 m2  
122.04 m2  
817.00 m2  
29.17 %  
440.50 m2  
440.20 m2

| REV               | DESIGN PHASE   | DATE      | INITIALS |
|-------------------|----------------|-----------|----------|
| C3.3              | CONCEPT DESIGN | 01-Jul-21 | Z.E.     |
| CUSTOMER APPROVAL |                |           |          |
| NAME              | SIGNATURE      | DATE      |          |

**DRAWING NAME**

**SHADOW DIAGRAM - SUMMER**

| DRAWING SCALE | SHEET SIZE | DRAWING NUMBER | CHECKLIST NUMBER |
|---------------|------------|----------------|------------------|
|               | A3         | 13             | 0661             |